ABBREVIATIONS:

ABOVE FINISHED FLOOR BELOW BOTTOM CABINET CENTERLINE CONCRETE CONTINUOUS CENTERPOINT DETAIL DIAMETER DOOR DOWNSPOUT EACH **EXISTING** EXTERIOR FACE OF CONCRET FACE OF WALL FINISHED GRADE FOUNDATION FLOOR FIREPLACE GAUGE GYPSUM WALL BOARD HOSE BIBB HEIGHT INFORMATION INSULATION INTERIOR LOW VOLTAGE METAL MANUFACTURER NOT APPLICABLE NOT IN CONTRACT NOT FOR CONSTRUCTION ON CENTER PROPERTY LINE RADIUS REFER TO SIMILAR

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER. THE CONTRACTOR, + JEFFREY ALMETER. ANY ERRORS. OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO JEFFREY ALMETER. FAILURE TO DO SO SHALL RELIEVE JEFFREY ALMETER FROM ANY RESPONSIBILITY OF THE CONSEQUENCES.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF JEFFREY ALMETER IS UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE JEFFREY ALMETER OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

PLAN LEGEND:

TO BE DETERMINED TEMPERED GLASS

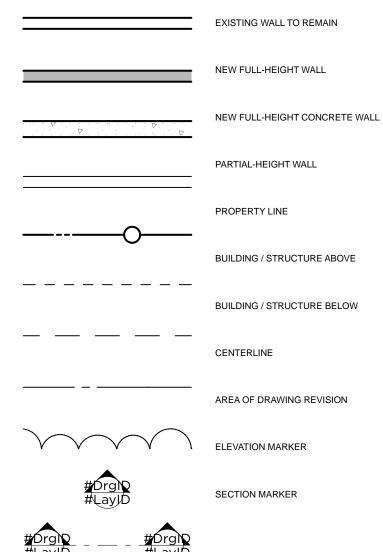
TONGUE & GROOVE

UNLESS NOTED OTHERWISE

TOP OF WALL

VERIFY IN FIELD WOOD WINDOW

TYPICAL



GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.

2. THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS

DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS. 4. THE CONTRACTOR SHALL SCHEDULE WALK-THROUGHS AT EACH OF

BELOW NOTED INTERVALS:

3. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO

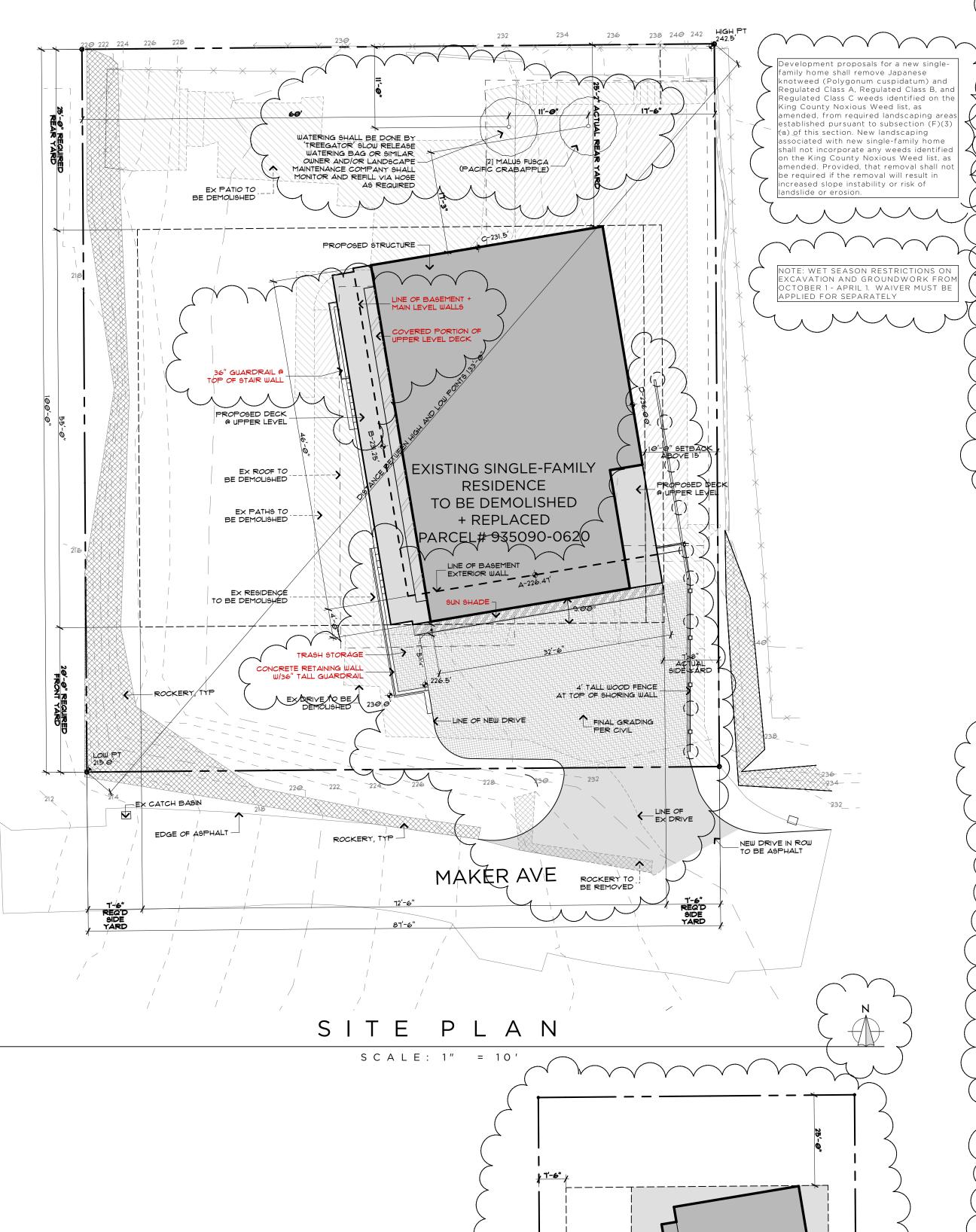
A. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. B. PRIOR TO THE COMMENCEMENT OF ALL MECHANICAL + ELECTRICAL

5. PROVIDE ALL NECESSARY BARRICADES, WARNING SIGNS, + DEVICES TO PROTECT PUBLIC + CONSTRUCTION PERSONNEL DURING CONSTRUCTION.

6. MAINTAIN ALL REQUIRED ACCESS + EGRESS DURING CONSTRUCTION.

MERCER RESIDENCE

6950 SE MAKER ST, MERCER ISLAND, WA 98040



EXTERIOR STAIR -

PROPOSED BUILDING FOOTPRINT EXCLUDING -UPPER FLOOR OVERHANGS

EXTERIOR STAIR -

-PROPOSED BUILDING PAD

BUFFER FROM
TOP OF EXISTING
ROCKERY PER
TOTECH REPORT

LOT COVERAGE / | IMPERVIOUS CALCS:

MAXIMUM ALLOWABLE IMPERVIOUS COVERAGE: (35%) 3,062.50 FT² LOT SLOPE CALCULATION: 20.1% SLOPE HIGH POINT 242.5 LOW POINT 215.0 HORIZONTAL DISTANCE 133'

XISTING ROOF IMPERVIOUS SURFACE: EXISTING DRIVES + WALKS IMPERVIOUS SURFACE: 1,970 FT² 4,980 FT² EXISTING IMPERVIOUS: EXISTING IMPERVIOUS TO BE REMOVED: 4,980 FT² EXISTING IMPERVIOUS SURFACE TO REMAIN: PROPOSED STRUCTURE IMPERVIOUS (INC UPPER DECK): PROPOSED DRIVES IMPERVIOUS: PROPOSED HARDSCAPE: TOTAL PROPOSED IMPERVIOUS:

TOTAL IMPERVIOUS SURFACE UPON COMPLETION: (31.8%) 2,781 FT² PROPOSED LANDSCAPE AREA (REMAINDER OF LOT (68.2%) 5,969 FT² EXCEPT AREAS OF EXISTING ROCKERY):

HARDSCAPE CALCULATIONS:

FLOOR AREAS:

BASEMENT GFA (937.5 FT² EXCLUDED SEE BELOW):

FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c):

SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER 19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST

BASEMENT FLOOR

EXCLUSION CALCS:

LOT AREA:

FLOOR):

MAXIMUM ALLOWABLE GFA:

ADDITIONAL GFA FOR ADU:

TOTAL ALLOWABLE GFA W/ ADU:

SECOND FLOOR COVERED DECK GFA:

TOTAL GROSS FLOOR AREA:

MAXIMUM ALLOWABLE HARDSCAPE AREA: (9%) 787.5 FT² PROPOSED TRASH AREA (INC RETAINING WALL): 46 FT² 21 FT² PROPOSED NORTH STEPS (INC WALL): PROPOSED SOUTH STEPS NEAR TRASH (INC WALL): 15 FT² TOTAL PROPOSED HARDSCAPE: (.9%) 82 FT²

PROJECT INFO:

PROJECT ADDRESS: 6950 SE MAKER ST MERCER ISLAND, WA 98040

SCOPE OF WORK: NEW SINGLE FAMILY RESIDENCE

LEGAL DESCRIPTION: WHITE BROS 1ST TO EAST SEATTLE 46-47-48 & W 1/2 OF 49. BLOCK 3, LOT 46

ACCESSOR'S PARCEL NUMBER: 935090-0620

BUILDING CODE + OCCUPANCY: 2018 IRC, IBC, IFC, WSEC. 2018 IMC, IFGC, UPC WILL BE DEFERRED PERMITS BY 802 FT² R-3 SINGLE FAMILY RESIDENTIAL (RESIDENCE) U STORAGE (GARAGE, STORAGE)

> TYPE OF CONSTRUCTION: TYPE-VB NON-SPRINKLERED

VICINITY MAP:



PROJECT TEAM:

MERCER RESIDENCE 6950 SE MAKER ST MERCER ISLAND, WA 98040

JEFFREY ALMETER 9506 13TH AVE NW SEATTLE, WA 98117 303.903.1783

8,750 FT²

1,669 FT²

1,529 FT²

(40%) 3,500 FT²

(45%) 3,937.5 FT

(44.9%) 3,936 FT²

1,610 FT² X 58.23% = 937.5 FT² EXCLUDED

1,610 FT² - 937.5 FT² = 672.5 FT²

(5%) 437.5 FT²

10801 MAIN STREET SUITE 102 BELLEVUE, WA 98004 425.458.4488

GEOTECHNICAL ENGINEER:

GEOTECH CONSULTANTS - ADAM MOYER 2401 10TH AVE E SEATTLE, WA 98102 425.747.5618

CIVIL ENGINEER: GOLDSMITH ENGINEERING - MARK BARBER 11400 SE 8TH ST, SUITE 450 BELLEVUE, WA 98004

> STRUCTURAL ENGINEER: DS ENGINEERING - DON SHIN 3121 147TH PLACE SE MILL CREEK, WA 98012 425.338.4776

CONTRACTOR:

425.462.1080

AVERAGE BUILDING ELEVATION CALCS: ZSHEET INDEX:

SEGMENT "A" ELEVATION:	226.47'	<
SEGMENT "A" LENGTH:	35'	
SEGMENT "A" ELEVATION x LENGTH:	7,926.45 FT ²	<
SEGMENT "B" ELEVATION:	231.25′	
SEGMENT "B" LENGTH:	46'	<
SEGMENT "B" ELEVATION x LENGTH:	10,637.5 FT ²	Ì
SEGMENT "C" ELEVATION:	231.50′	~
SEGMENT "C" LENGTH:	35'	
SEGMENT "C" ELEVATION x LENGTH:	8,102.50 FT ²	
SEGMENT "D" ELEVATION:	236.00′	<
SEGMENT "D" LENGTH:	46′	
SEGMENT "D" ELEVATION x LENGTH:	10,856.00 FT ²	
TOTAL OF AGGREGATE ELEVATION:	37,522.45′	
TOTAL OF SEGMENT LENGTHS:	162'	
AVERAGE BUILDING ELEVATION:	231.62'	

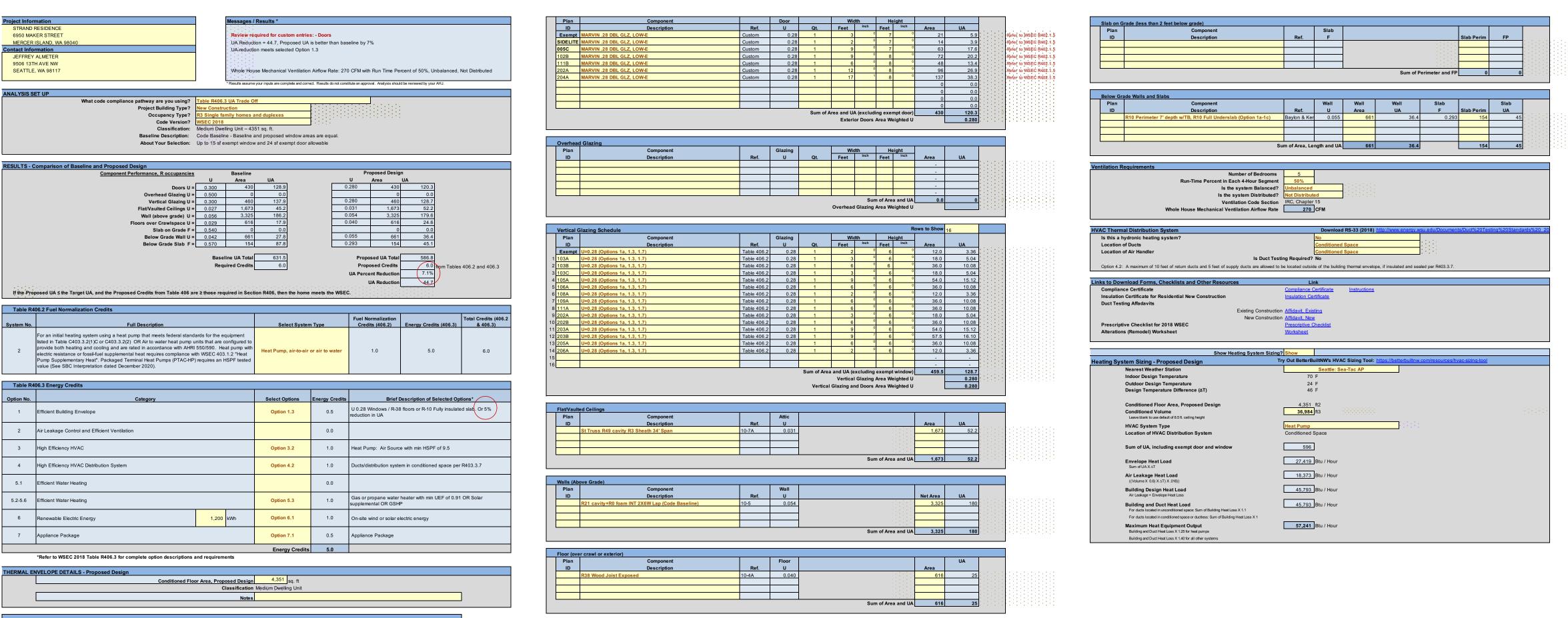
,)	
<	A1.0	PROJECT INFORMATION
)	A1.1	ENERGY FORMS
<		SURVEY
)	SH1	SHORING PLAN AND SECTIONS
/	SH2	SHORING PLAN AND SECTIONS (1)
	C-1	TESC PLAN
<	C-2	GRADING + DRAINAGE + UTILITY PLAN
`	C-3	PROFILES AND SECTIONS
	C-4	DETAILS AND NOTES
	\ A2.0	BASEMENT FLOOR PLAN
	A2.1	FIRST FLOOR PLAN
_	\A2.2	SECOND FLOOR PLAN
	A2.3	ROOF PLAN
<	A3.1	BUILDING ELEVATIONS
	A3.2	BUILDING SECTIONS
<	S1.0	GENERAL STRUCTURAL NOTES + DETAI
) s1.1	SECTIONS + DETAILS
_	S1.2	SECTIONS + DETAILS (1)
	62.0	FOUNDATION - FIRST FLOOR FRAMING

JEFFREY P. ALMETER

 \cup Ш∢ $\supset \Sigma$ 0 2 α O ΔШ

RELEASE 21 MARCH 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023

MAKER AVE



/Users/jalmeter/Dropbox/JA JOBS/Strand - Mercer Island/05 PERMITS/03 COLLATERAL/STRAND 2.xlsm 4/13/2021

/Users/jalmeter/Dropbox/JA JOBS/Strand - Mercer Island/05 PERMITS/03 COLLATERAL/STRAND 2.xlsm 4/13/2021

/Users/jalmeter/Dropbox/JA JOBS/Strand - Mercer Island/05 PERMITS/03 COLLATERAL/STRAND 2.xlsm 4/13/2021

7/4/2022

7/4/2022

O \ \ \ \ \ \ \ \ \

10651 \ REGISTERED

JEFFREY P. ALMETER State of Washington

ARCHITECT

N E R G Y

R E L E A S E
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023



LEGAL DESCRIPTION

(PER PERSONAL REPRESENTATIVE DEED RECORDING# 20210415002461)

LOTS 46, 47, 48 AND THE WEST ONE-HALF OF LOT 49 IN BLOCK 3 OF WHITE BROTHERS FIRST ADDITION TO EAST SEATTLE, AS PER PLAT RECORDED IN VOLUME 4 OF PLATS, PAGE 100, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD N 88°48'41" W BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF SE 32ND ST PER GPS OBSERVATIONS, NAD83/2011 WASHINGTON STATE PLANE, NORTH ZONE.

REFERENCES

- R1. RECORD OF SURVEY, VOL. 133, PG. 28, R2. RECORD OF SURVEY, VOL. 7, PG. 171,
- R3. PLAT OF WHITE & NOBLES FIRST ADD., REC. NO. 1889050232489, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

SURVEYOR'S NOTES

- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- 4. SUBJECT PROPERTY TAX PARCEL NO. 9350900620.
- 5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 8,750± S.F. (0.20 ACRES)
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
- 7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

Đ	AREA DRAIN	×	NAIL AS NOTED
	ASPHALT SURFACE		PAVER SURFACE
<u></u>	BUILDING	P□	POWER METER
— <u>¢</u> —	CENTERLINE ROW	—— P ——	POWER (OVERHEAD)
COL	COLUMN	TETE	ROCKERY
	CONCRETE SURFACE	—— SS ——	SEWER LINE
	RETAINING WALL	\bigcirc	SEWER MANHOLE
	DECK	—— SD ——	STORM DRAIN LINE
	FENCE LINE (WOOD)	SCO •	SEWER CLEANOUT
G 🔲	GAS METER	SIZE TYPE	TREE (AS NOTED)
	INLET (TYPE 1)	—— w——	WATER LINE
X	MONUMENT IN CASE (FOUND)	WM □	WATER METER
¥	MONUMENT (SURFACE, FOUND)	W∨⋈	WATER VALVE

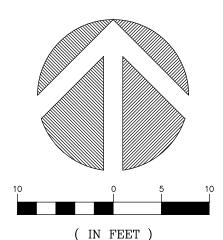
VICINITY MAP

N.T.S. SE 34th St SE 34th St



TOPOGRAPHIC & BOUNDARY SURVEY

STEEP SLOPE/BUFFER DISCLAIMER: THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED



1 INCH = 10 FT.

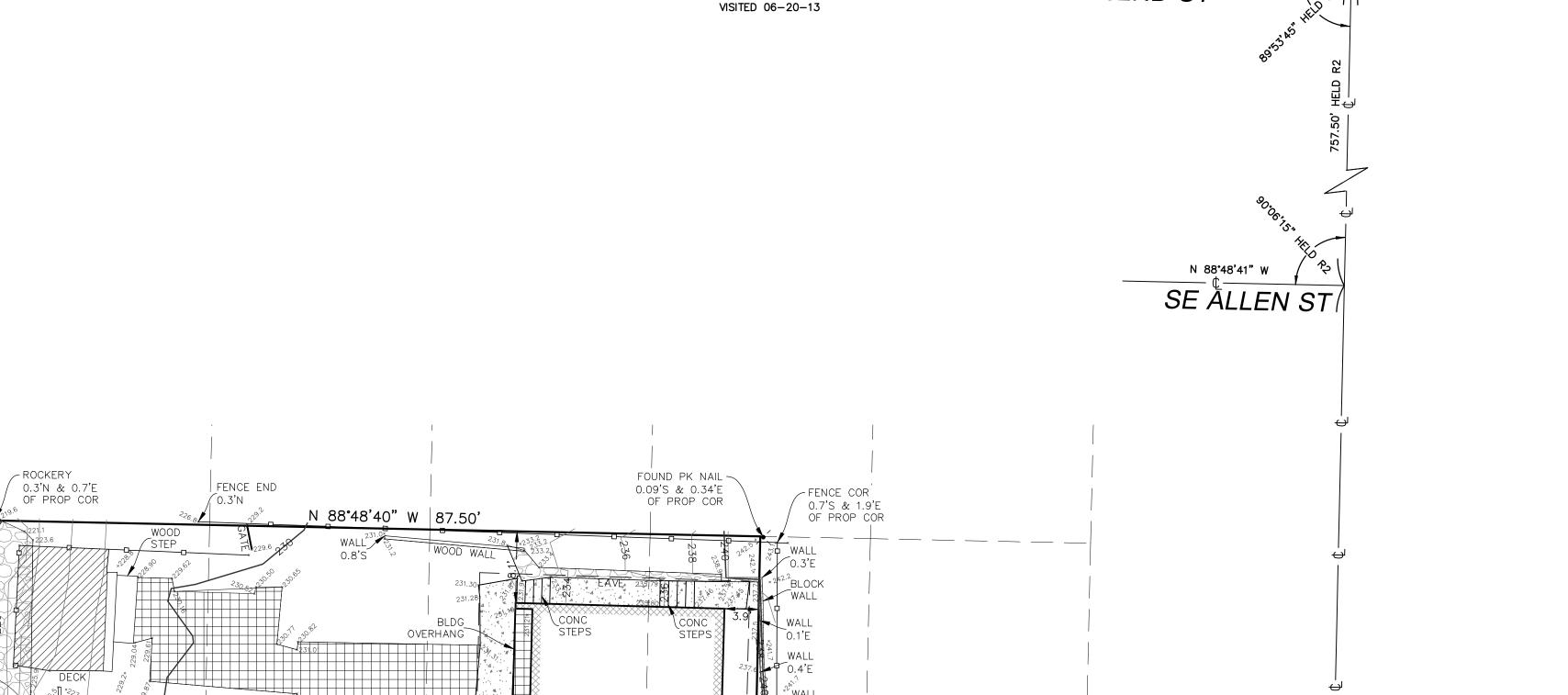
FOUND IRON PIPE, <

0.21'N & 0.42'W

IE(W.) 12"CONC=211.26"

OF PROP COR

BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



SURFACE MON

BASIS OF BEARINGS

SE 32ND ST

N 88'48'41" W 1343.02' MEAS. (1342.95' R1)

FOUND MON IN CASE

BRASS DISK, DOWN 1.85'



CB (TYPE 1)

RIM=223.78'

RIM=226.83'-

IE(E./W.) 8"CONC=221.33'(C.C.)

IE(E.) 12"DI=222.18"

IE(W.) 12"DI=222.03'



NUMBER:	210007		
E:	05/27/2021		
FTED BY:	RSN		
CKED BY:	TBR / JGM		
LE: 1" = 10'			
REVISION HISTORY			
22 ADD CATCH BASIN			

INDEXING INFORMATION

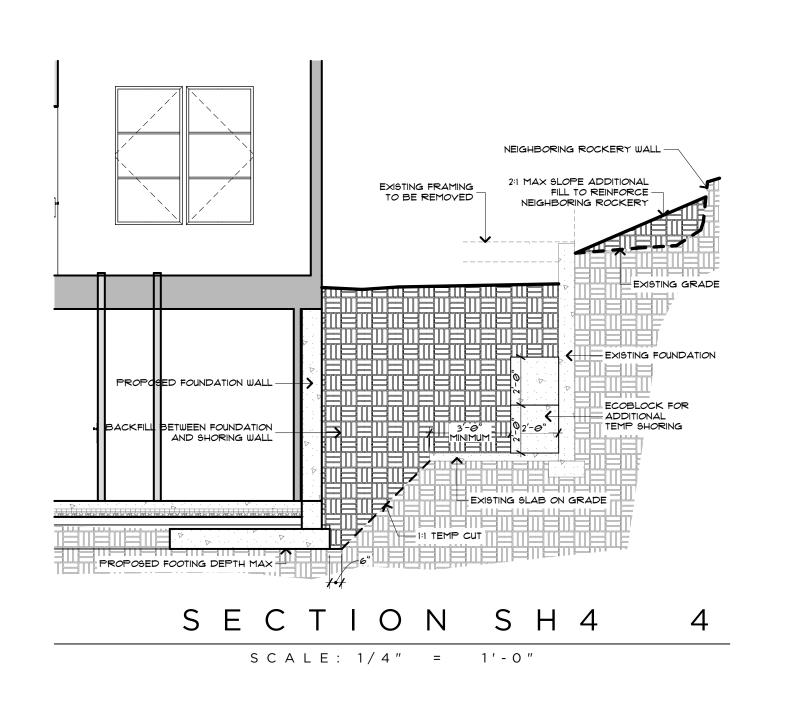
SECTION: 12

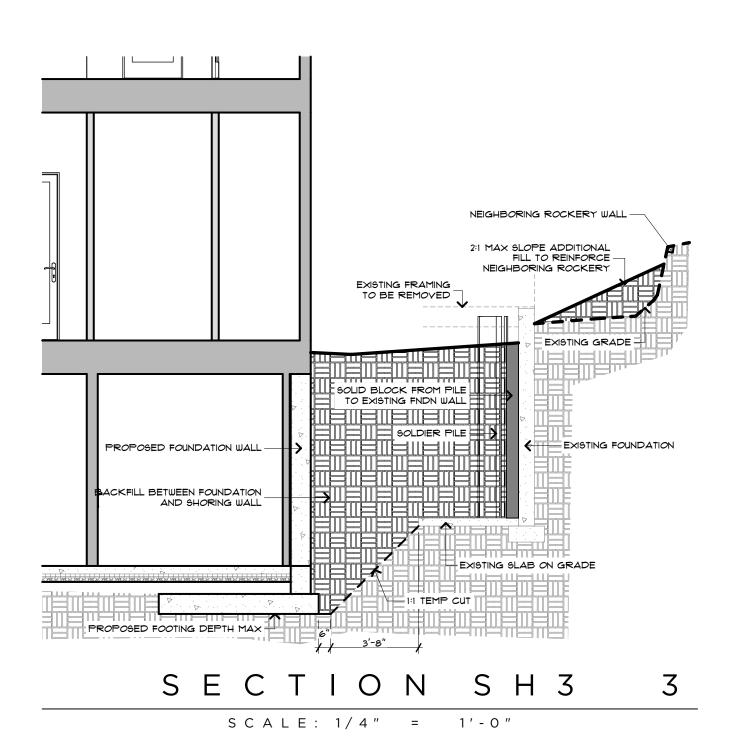
TOWNSHIP: 24N RANGE: <u>04E, W.M.</u> COUNTY: KING

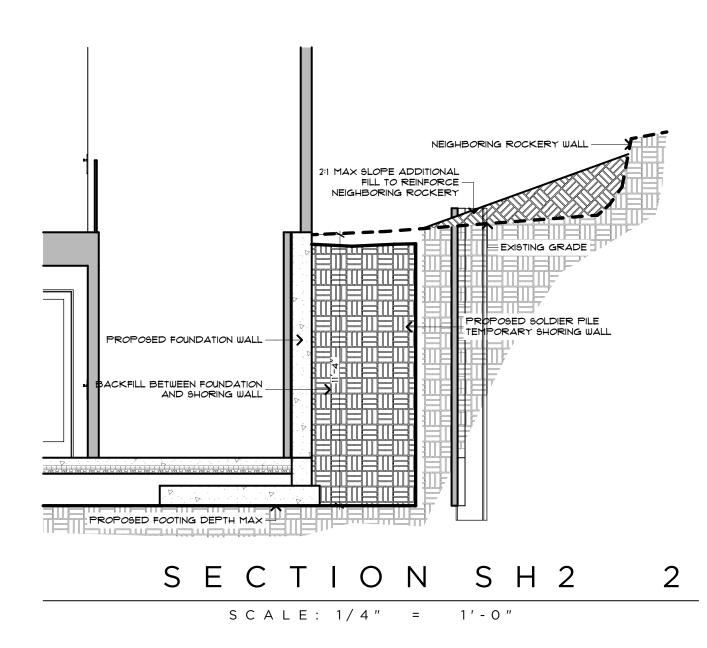
<u>NW</u> 1/4 <u>SW</u> 1/4

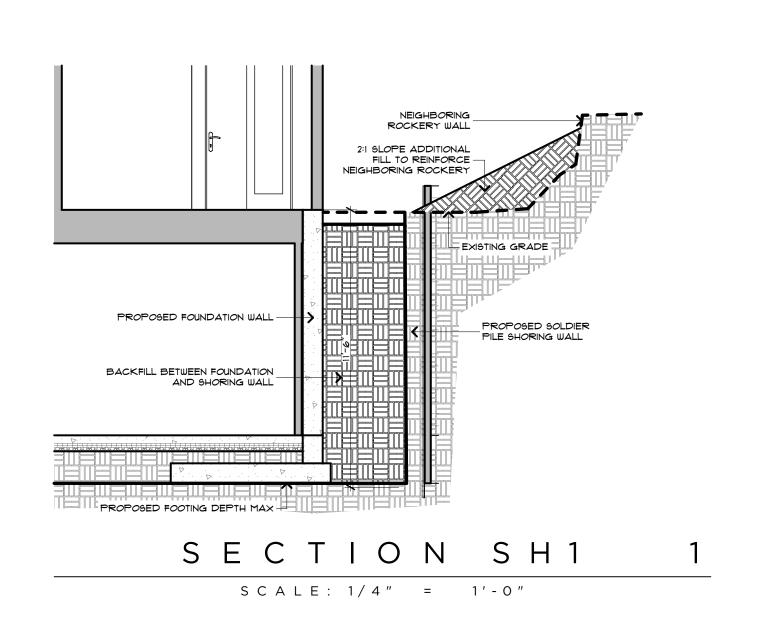
1 OF 1

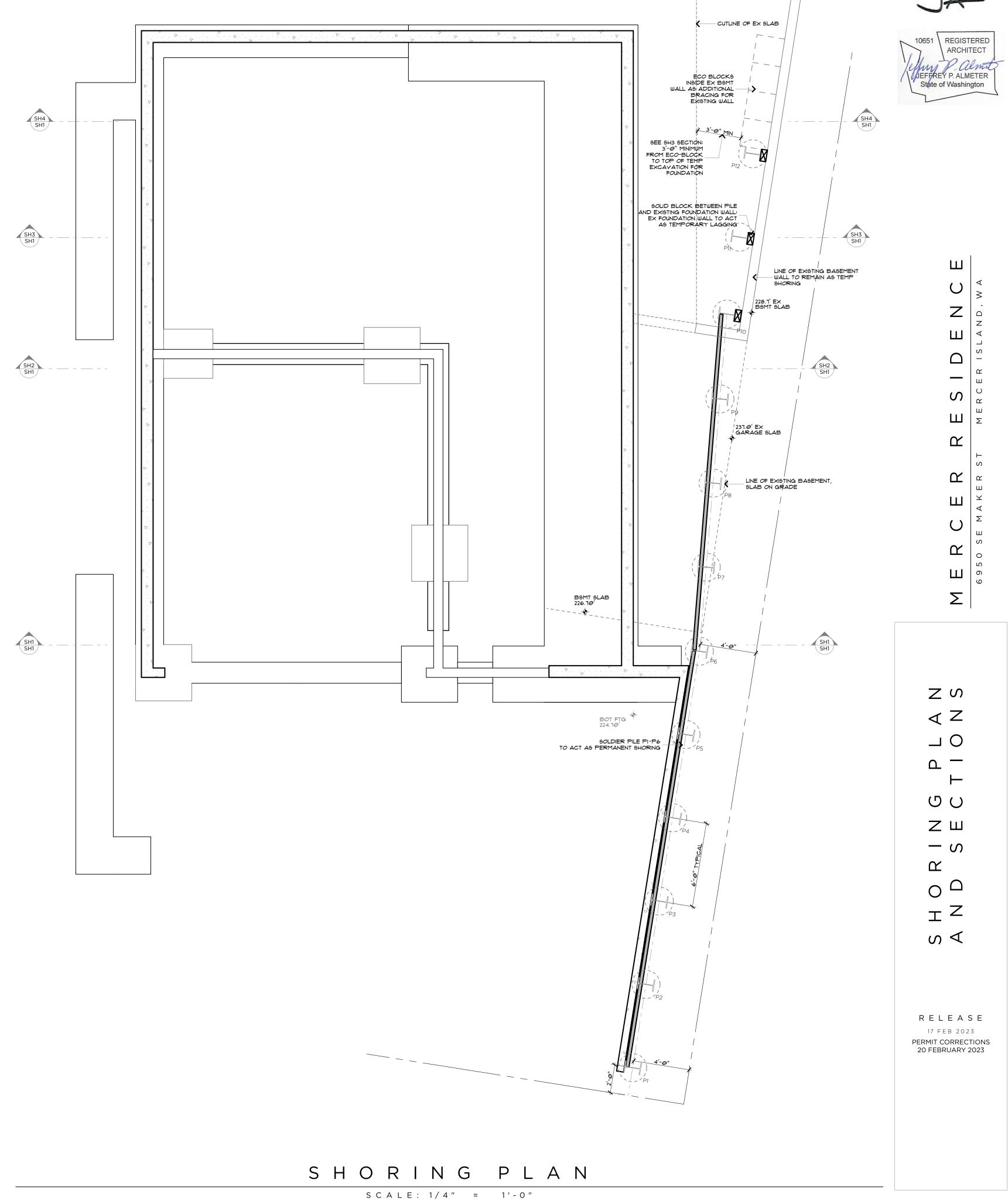
SHEET NUMBER











S H 1

General Structural Notes

The Following Apply Unless Noted Otherwise on the Drawings

Criteria

- 1. CODE REQUIREMENTS: ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- 2. REFERENCE DOCUMENTS:
- a. TOPOGRAPHIC AND BOUNDARY SURVEY BY Terrane DATED May 27, 2021 b. REPORT ON GEOTECHNICAL INVESTIGATION BY Geotech Consultants, INC, DATED MARCH 21 2022, (Proj #JN-22007)
- 3. DESIGN LOADS: THE SOIL PRESSURE INDICATED ON THE SOIL PRESSURE DIAGRAMS WHERE USED FOR DESIGN.
- 4. SOILS INSPECTION: INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED/TESTED BY THE GEOTECHNICAL ENGINEER.
- 5. SPECIAL INSPECTION: SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 110 AND 1701 OF THE INTERNATIONAL BUILDING CODE AND THE PROJECT SPECIFICATIONS BY A OUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT. AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS.

-STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING)

- 6. UTILITY LOCATION: THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT COMPLETE.
- 7. SPECIAL CONDITIONS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING STRUCTURES IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.
- 8. SOILS: SEE REPORT OF GEOTECHNICAL INVESTIGATION FOR MORE COMPLETE INFORMATION, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.
- 9. SAWN LUMBER: SAWN LUMBER SHALL CONFORM TO "GRADING AND DRESSING RULES,"WEST COAST LUMBER INSPECTION BUREAU (WCLIB), LATEST EDITION. LUMBER SHALL BE THE SPECIES AND GRADE NOTED IN THE LAGGING TABLE.

TIMBER LAGGING SHALL BE PRESSURE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH AWPB STANDARD U1 AND SHALL MEET A USE CATEGORY OF UC4B OR BETTER. LAGGING SHALL BE 4X10 UNLESS OTHERWISE NOTED ON DRAWINGS.

- 10. STEEL SPECIFICATIONS: DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SPECIFICATIONS:
- a. STRUCTURAL STEEL: AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS--ALLOWABLE STRESS DESIGN.
- b. WELDING: AWS D1.1.(AWS PREQUALIFIED JOINT DETAILS USE 1/4" MINIMUM WELDS UNLESS NOTED OTHERWISE).
- c. WELDER CERTIFICATION: WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO).vv
- 11. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	ASTM SPECIFICATION	Fy
WIDE FLANGE	A992	50 KSI
PIPE	A53	35 KSI
PLATES, SHAPES, ANGLES, AND RODS	A36	36 KSI
STRUCTURAL BOLTS	A325-N	
WOOD CONNECTION BOLTS	A307	
WELDING ELECTRODES	E70XX	

Concrete

1. CONCRETE: CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF CHAPTER 19 OF THE 2018 IBC. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD CYLINDER TESTS, UNLESS APPROVED OTHERWISE. REQUIRED ULTIMATE COMPRESSIVE STRENGTH OF STRUCTURAL GROUT SHALL BE REACHED BY 7 DAYS FOR TIEBACKS AND 28 DAYS FOR PILES.

f'c	Minimum Cement	Max. Water	Per Use
(psi)	Per Cubic Yard	94 LB Cement	
3,000	1-1/2 Sacks		Pile lean concrete
	6 Sacks (PILING)	6 Gallons	Pile struct. grout

CONCRETE WALL SHALL ATTAIN A 28-DAY STRENGTH OF f'c=3,000 PSI

AS AN ALTERNATIVE TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE ALTERNATE MIX DESIGN WILL BE REVIEWED FOR CONFORMANCE TO ACI 318 Ch. 5 WITH SBC REVISIONS.

- 2. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- 3. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000 PSI.

Pipe and Lagging Construction

- 1. DEMOLITION: SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.
- 2. VERIFICATION: DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER ABOUT ANY DISCREPANCIES PRIOR TO FABRICATION.
- 3. STEEL PILE PLACEMENT TOLERANCES:
- 1" INSIDE PERPENDICULAR TO SHORING WALL. 1" OUTSIDE PERPENDICULAR TO SHORING WALL 3" LATERALLY.
- 4. LAGGING: TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4 FEET IS RECOMMENDED. SPECIAL CARE SHOULD BE TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.
- 5. SHORING MONITORING: A SYSTEMATIC PROGRAM OF OBSERVATION SHALL BE CONDUCTED DURING THE PROJECT EXECUTION TO DETERMINE THE EFFECT OF CONSTRUCTION ON ADJACENT FACILITIES AND STRUCTURES IN ORDER TO PROTECT THEM FROM DAMAGE. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDATIONS. FIELD DATA AND MEASUREMENTS ARE TO BE SUBMITTED TO STRUCTURAL AND GEOTECHNICAL ENGINEER FOR REVIEW.

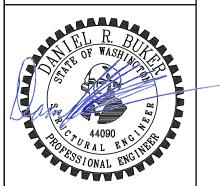
MONITORING PLAN SHALL INCLUDE THE FOLLOWING:

- THE TOP OF EVERY OTHER PILE SHALL BE MONITORED. - MULTIPLE REFERENCE POINTS SHOULD BE ESTABLISHED SUFFICIENTLY FAR AWAY FROM THE SHORING TO ACT AS CONTROL POINTS FOR THE MONITORING PLAN - ESTABLISH A BASELINE READING OF MONITORING POINTS ON THE GROUND SURFACE AND SETTLEMENT-SENSITIVE STRUCTURES BEHIND THE SHORING WALL ALIGNMENT PRIOR TO EXCAVATION AND INSTALLATION OF THE SHORING SYSTEMS. - A LICENSED SURVEYOR MUST DO THE SURVEYING AT LEAST ONCE A WEEK. - SURVEY FREQUENCY CAN BE DECREASED AFTER THE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO ADDITIONAL MOVEMENT. SURVEYING MUST CONTINUE UNTIL THE PERMANENT STRUCTURE IS COMPLETE UP TO THE TOP OF THE SHORING WALL. THE SURVEY FREQUENCY WILL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AFTER REVIEW AND APPROVAL BY DPD AND SDOT.

- THE GEOTECHNICAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AN EVALUATION OF WALL PERFORMANCE ALONG WITH SURVEY DATA TO DPD AND SDOT ON AT LEAST A WEEKLY BASIS. IMMEDIATELY AND DIRECTLY, NOTIFY DPD AND SDOT IF ANY UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENT OCCURS. - IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS, IF 0.5 INCHES OF MOVEMENT OCCURS BETWEEN TWO CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENTS REACH 0.5 INCH. AT THAT AMOUNT OF MOVEMENT, THE ENGINEERS AND DESIGNERS SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOVEMENTS TO WHAT HAS BEEN DEFINED AS ACCEPTABLE BY THE DESIGN TEAM.

4303 Stone Way N Seattle, WA 98103

206.258.6333



SE Maker St Island, WA

SI

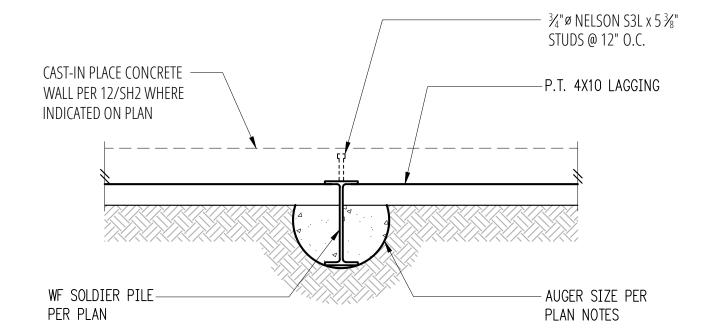
6950 Merce

Sid

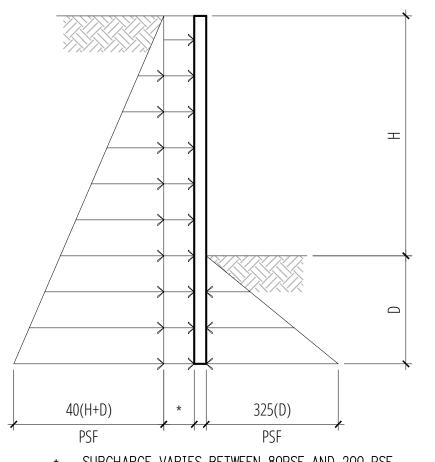
2

 \geq

Pile Schedule							
Pile Mark	Auger Dia.	Wide	Max. Height	Min Embed	Min. X (ft.) Above	Туре	
	ŭ	Flange	H (ft.)	D (ft.)	Top of Excavation	7.	
P1	24"	W16x100	11'-6"	20'-0"	1'-0"	Cantilever	
P2	24"	W16x100	11'-6"	20'-0"	1'-0"	Cantilever	
Р3	24"	W16x100	11'-6"	20'-0"	1'-0"	Cantilever	
P4	24"	W16x100	11'-6"	20'-0"	1'-0"	Cantilever	
P5	24"	W16x100	11'-6"	20'-0"	1'-0"	Cantilever	
P6	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P7	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P8	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P9	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P10	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P11	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	
P12	24"	W14x68	11'-6"	15'-0"	1'-0"	Cantilever	



Pile Schedule



* - SURCHARGE VARIES BETWEEN 80PSF AND 200 PSF ACTIVE PRESSURE PASSIVE PRESSURE

LAGGING 8/SH2 WF PER PLAN BOTTOM OF -CONCRETE WALL EXCAVATION PER ELEVATION AUGERED HOLE (TYP.) EMBEDDED PORTION OF PILE TO BE GROUND CLEAN OF MILL SCALE, RUST, ETC.

CANTILEVER PILE

#5 @ 12" O.C.

#5 @ 12" O.C.

HORIZ.

No. Date Issue 1/30/23 Permit

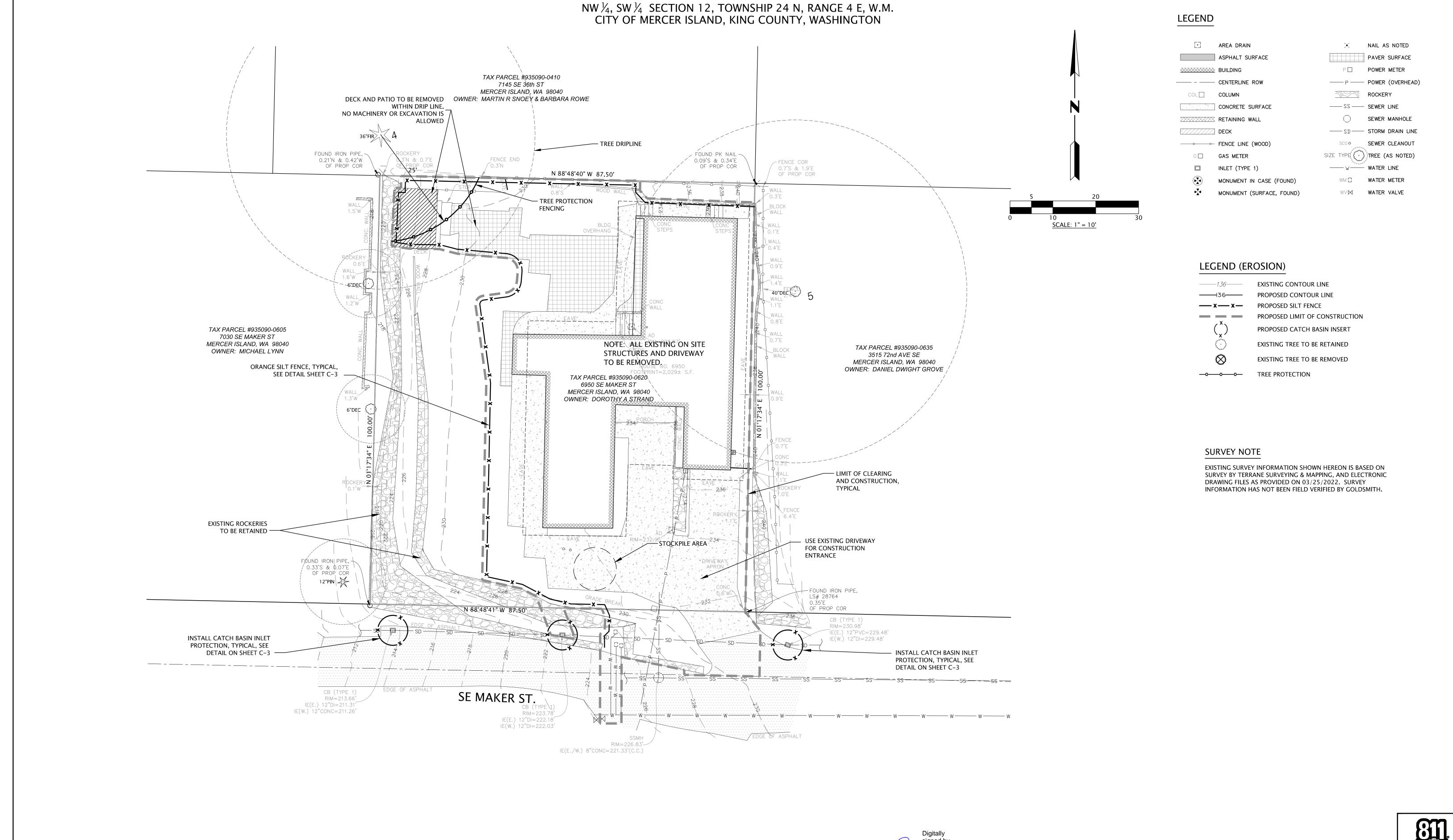
Sheet Contents

Sheet No.

SHORING NOTES & DETAILS

Pile Loading Diagram

SCALE: 3/4"=1'-0"



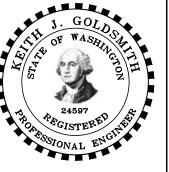


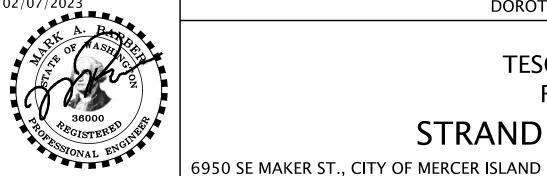


JOB NO. 22038



			PLOTTED: 2023/02/07 10:32 Eoregon	1
			DRAWN:	
			DESIGNED:] ,
			APPROVED:	
			FIELD BOOK:	
			PAGE #:] •
L:\2022\22038\3 DEVELOPMENT\CAD\HOST DRAWINGS\BUILDING PERMIT\22038R01.DWG				





TESC PLAN

STRAND PROPERTY

DOROTHY STRAND

C-1

KING COUNTY, WASHINGTON

STORM & ROOF DRAINAGE SYSTEM PIPE TABLE					
PIPE	SIZE	LENGTH	PIPE INFORMATION		
1	12"	40 LF	SD D.I. @ 27.09%		
2	6"	29 LF	SD PVC @ 13.13%		
3	4"	50 LF	RD PVC @ 2.87%		
4	4"	45 LF	RD PVC @ 7.34%		
5	4"	8 LF	TRENCH RD PCV @ 2.00%		
6	12"	53 LF	EX. SD D.I. @ 13.87%		

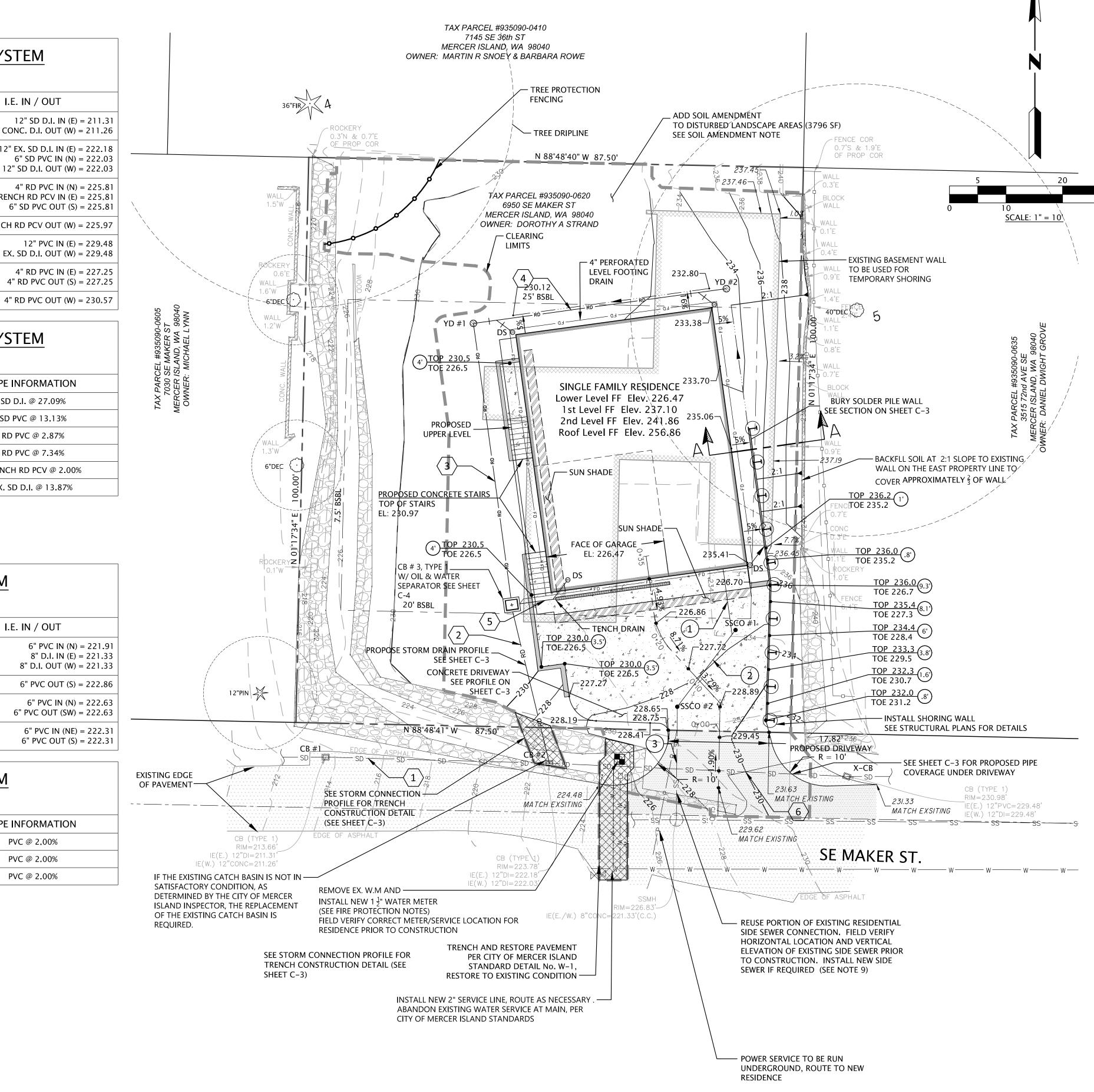
RIM = 233.10

YARD DRAIN

YD # 2

	SANITAR STRU	Y SEWER CTURE TA	<u> </u>
NAME	TYPE	VERTICAL	I.E. IN / OUT
EX-SSMH # 1	SSMH, EXISTING	RIM = 226.83	6" PVC IN (N) = 221.91 8" D.I. IN (E) = 221.33 8" D.I. OUT (W) = 221.33
HOUSE	LOWER LEVEL FF	RIM = 226.47	6" PVC OUT (S) = 222.86
SSCO # 1	CLEAN OUT W/ TRAFFIC RATED LID	RIM = 223.17	6" PVC IN (N) = 222.63 6" PVC OUT (SW) = 222.63
SSCO # 2	CLEAN OUT W/ TRAFFIC RATED LID	RIM = 222.85	6" PVC IN (NE) = 222.31 6" PVC OUT (S) = 222.31

SANITARY SEWER SYSTEM PIPE TABLE					
PIPE	SIZE	LENGTH	PIPE INFORMATION		
1	6"	12 LF	PVC @ 2.00%		
2	6"	16 LF	PVC @ 2.00%		
3	6"	20 LF	PVC @ 2.00%		



NW $\frac{1}{4}$, SW $\frac{1}{4}$ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M. CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON

NOTES

- 1. DEMOLISH EXISTING HOUSE, PATIO, DECK, WALKWAY, WALL AND DRIVEWAY PRIOR TO PROPOSED CONSTRUCTION.
- 2. SITE AREA: 8,750 SF (0.20 AC)
- 3. IMPERVIOUS CALCULATIONS:

ON-SITE HOUSE $= 1,888 \, SF$ CONCRETE DRIVEWAY = 790 SF 61 SF STAIRS 13 SF **RETAINING WALLS** 49 SF NEW AND REPLACED SUBTOTAL = 2,801 SF

EX. ROCKERY / WALL = 736 SF TOTAL IMPERVIOUS = 3,537 SF (40% OF LOT AREA)

OFF-SITE ASPHALT DRIVEWAY = 485 SF TOTAL PROJECT IMPERVIOUS = 4,022 SF

EARTHWORK QUANTITY: CUT = 662.75 CYFILL = 19.92 CY

- ROOF DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR SDR35 FOR PVC PIPE AND N-12 FOR SMOOTH-BORE HDPE PIPE.
- 6. FOOTING DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR D2729 FOR PVC, WITH THE PERFORATIONS DIRECTED DOWNWARD.
- 7. CONTRACTOR SHALL COMPLY WITH THE CITY OF MERCER ISLAND "STORM DRAINAGE REQUIREMENTS" FOR ALL NEW CONSTRUCTION OF DRAINAGE SYSTEM IMPROVEMENTS, INCLUDING ROOF DRAINS, FOOTING DRAINS, AND DRIVEWAY/PARKING AREA DRAINS.
- 8. CONTRACTOR TO COORDINATE EXACT LOCATION OF THE NEW METER WITH THE CITY'S WATER DEPARTMENT DURING CONSTRUCTION.
- 9. THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON SE MAKER ST IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

LEGEND (DEVELOPED)

PROPOSED CONCRETE PROPOSED ASPHALT PAVEMENT TRENCH RESTORATION PROPOSED SANITARY SIDE SEWER PROPOSED SANITARY SIDE SEWER CLEANOUT PROPOSED WATER SERVICE LINE PROPOSED WATER METER PROPOSED YARD DRAIN ----- RD ------ PROPOSED ROOF DRAIN PIPE PROPOSED ROOF DRAIN CLEANOUT ----- FD ----- PROPOSED FOOTING DRAIN PIPE PROPOSED FOOTING DRAIN PIPE PROPOSED DOWNSPOUT

FIRE PROTECTION NOTES:

FIRE SPRIKLER REQUIRED

BUILDER AND FIRE PROTECTION DESIGNER TO CONFIRM METER AND WATER SERVICE SIZE PRIOR TO CONSTRUCTION OF WATER SERVICE **SURVEY NOTE**

——230——PROPOSED CONTOUR LINE

EXISTING SURVEY INFORMATION SHOWN HEREON IS BASED ON SURVEY BY TERRANE SURVEYING & MAPPING, AND ELECTRONIC DRAWING FILES AS PROVIDED ON 03/25/2022. SURVEY INFORMATION HAS NOT BEEN FIELD VERIFIED BY GOLDSMITH.

PROPOSED CATCH BASIN, TYPE I

TEMPORARY SHORING

TEMPORARY SHORING SHALL BE INSTALLED AT THE DIRECTION OF THE PROJECT GEOTECHNICAL ENGINEER.

SOIL AMENDMENT NOTE

STOCKPILE AND COMPOST AMENDED DISTURBED LANDSCAPED AREAS PER CITY OF MERCER ISLAND POST-CONSTRUCTION SOIL MANAGEMENT

TOP SOIL LAYER SHALL HAVE A MINIMUM DEPTH OF 8" AND A ORGANIC CONTENT OF 5% IN TURF AREAS AND 10% IN PLANTER BEDS. SUBSOIL BELOW TOP SOIL LAYER SHALL BE SCARIFIED TO A DEPTH OF 4" BELOW TOPSOIL LAYER. PLANTER BEDS SHALL BE MULCH WITH 2" OF ORGANIC MATERIAL.

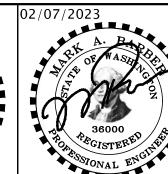
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

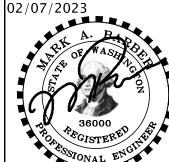




		PLOTTED: 2023/02/07 10:24 Eoregon	
		DRAWN:	4
		DESIGNED:	
		APPROVED:	
		FIELD BOOK:	7
		PAGE #:	1
			•
L	:\2022\22038\3	B DEVELOPMENT\CAD\HOST DRAWINGS\BUILDING PERMIT\22038P01.DWG	







GRADING, DRAINAGE AND UTILITY PLAN

DOROTHY STRAND

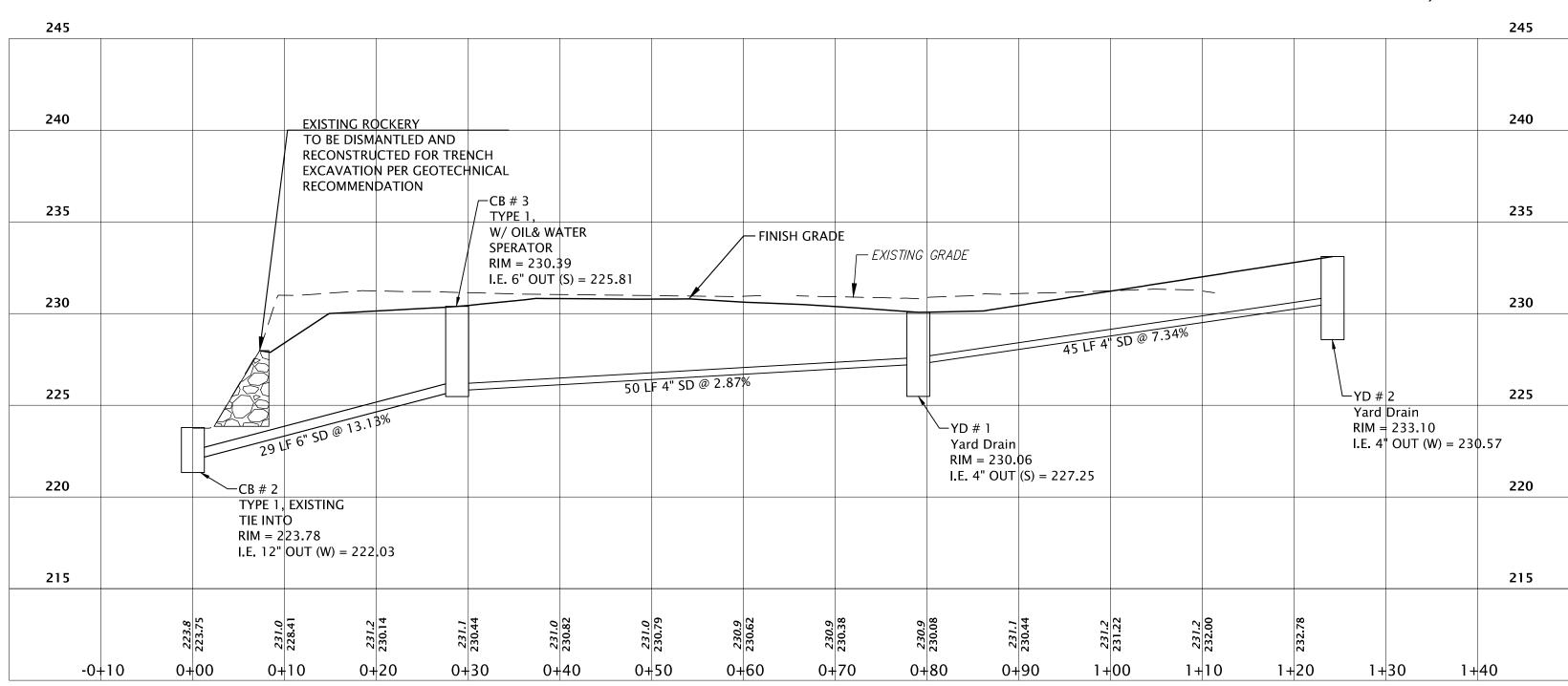
STRAND PROPERTY

6950 SE MAKER ST., CITY OF MERCER ISLAND

C-2

KING COUNTY, WASHINGTON

JOB NO. 22038

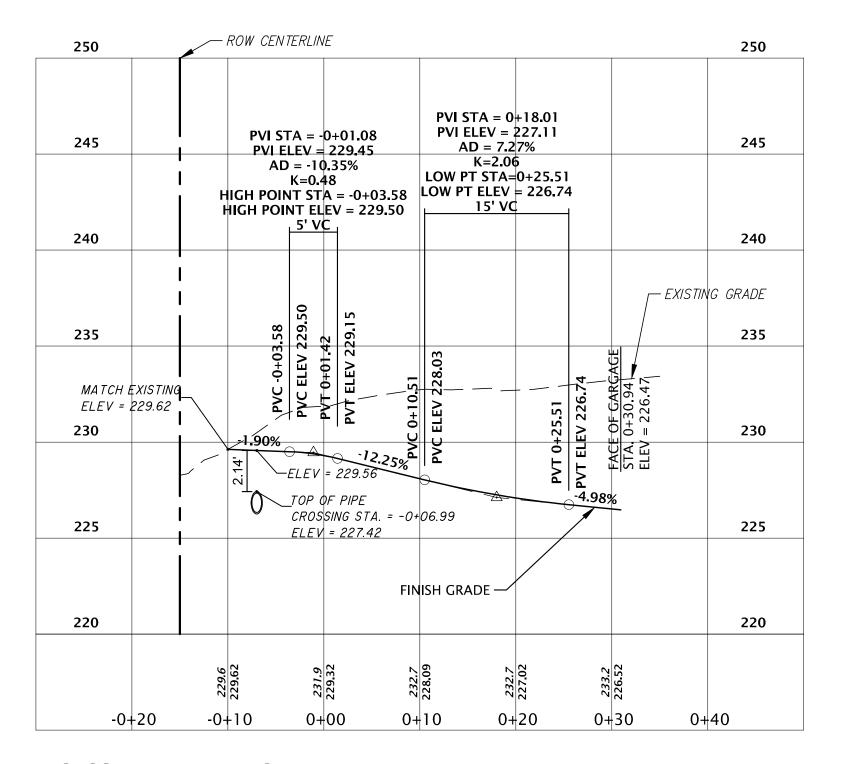


PROPOSE RESIDENTIAL STORM DRAIN CONNECTION PROFILE

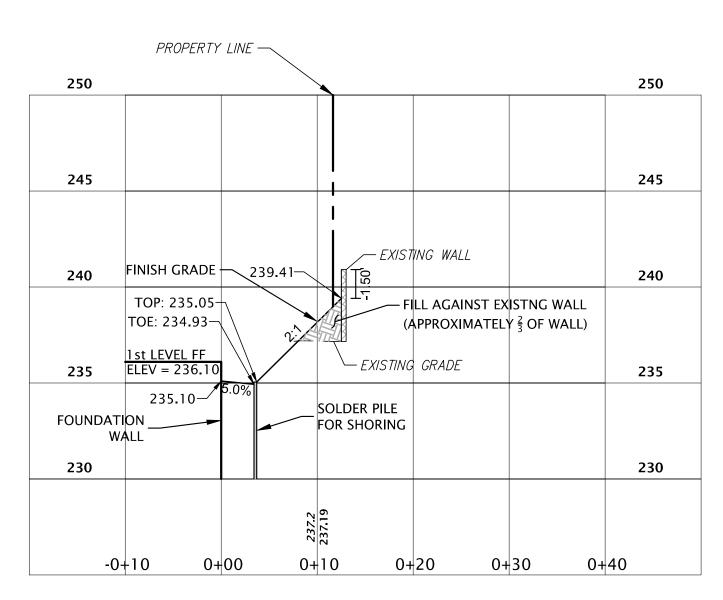
STA. -0+10.00 TO STA. 1+40.00

1'' = 10.00' HORIZ.

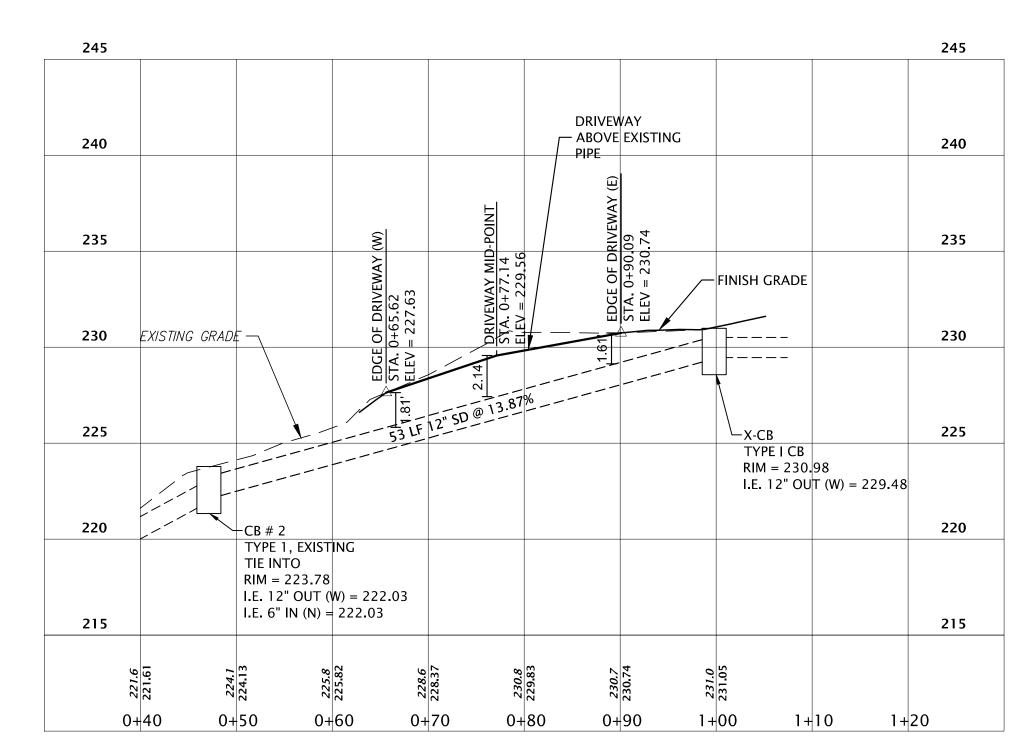
1"=5.00' VERT.



PROPOSE DRIVEWAY PROFILE STA. -0+20.00 TO STA. 0+40.00 1" = 10.00' HORIZ.1"=5.00' VERT.



WALL SECTION VIEW PROFILE STA. -0+10.00 TO STA. 0+40.00 1" =10.00' HORIZ. 1"=5.00' VERT.



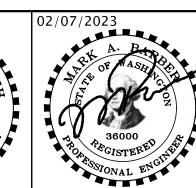
EXISTING SE MARKER ST. STORM PROFILE STA. 0+40.00 TO STA. 1+20.00 1'' = 10.00' HORIZ.1"=5.00' VERT.

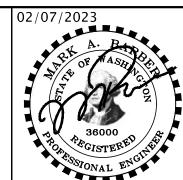




			PLOTTED: 2023/02/07 10:36 Eor	regon
			DRAWN:	
			DESIGNED:	
			APPROVED:	
			FIELD BOOK:	7
			PAGE #:	
	L:\2	022\22038\3	DEVELOPMENT\CAD\HOST DRAWINGS\BUILDING PERMIT\22038D01.	.DWG







DOROTHY STRAND

PROFILES AND SECTIONS FOR

STRAND PROPERTY

6950 SE MAKER ST., CITY OF MERCER ISLAND

C-3

KING COUNTY, WASHINGTON

JOB NO. 22038

NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. O.5 C.F. OF STORAGE, THE MEANS TO DEWATER THE STORED SEDIMENT, AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

MAINTENANCE STANDARDS

I. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AN ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED

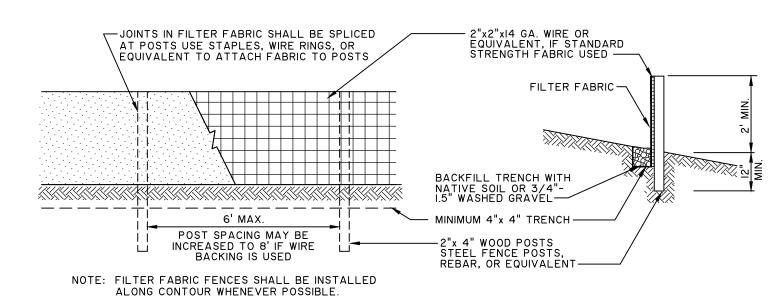
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.

3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT

CATCH BASIN INSERT DETAIL

OFF-SITE.

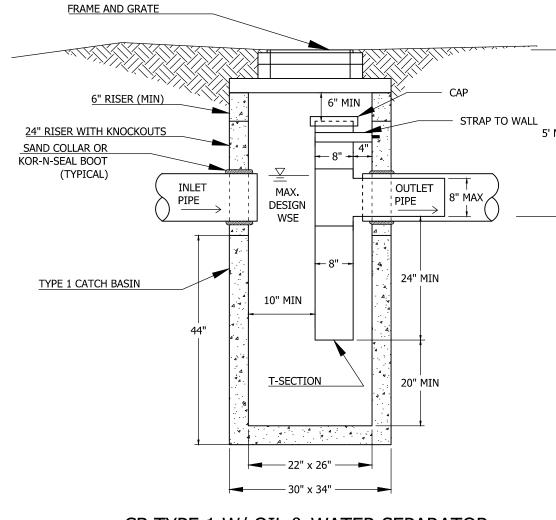
MAINTAINED PROPERLY.



MAINTENANCE STANDARDS

- I. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- 2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
- 3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLELED TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
- 4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH. 5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE



CB TYPE 1 W/ OIL & WATER SEPARATOR NTS

STANDARD TESC PLAN NOTES:

1. MAX. OUTLET PIPE DIAMETER IS 8 INCHES. VERTICAL RISER SECTION SHALL BE ALIGNED PLUMB VERTICALLY. HORIZONTAL

RESISTANT. STEEL HARDWARE SHALL BE GALVANIZED. PIPES

SHALL BE PVC. COMPLETE CORROSION PROTECTION MUST BE

RISER SECTION SHALL MATCH OUTLET PIPE SLOPE.

3. APPLY NON-SHRINK GROUT TO INSIDE AND OUTSIDE OF ALL

4. SLIP SMOOTH-BORE HORIZONTAL LEG OF FLOW CONTROL TEE

2. ALL METAL PARTS AND SURFACES MUST BE CORROSION

JOINTS, RINGS, RISERS AND FRAMES.

5. NO FLOW CONTROL JOINT OUTSIDE OF STRUCTURE.

INSIDE CARRIER PIPE.

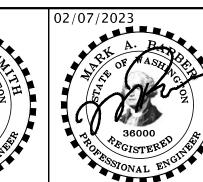
- 1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- 2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- 3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- 4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- 5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS, DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- 6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- 7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- 8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- 9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.





PLOTTED: 2023/02/07 10:18 Eoregon DRAWN: DESIGNED: APPROVED: FIELD BOOK: PAGE #: L:\2022\22038\3 DEVELOPMENT\CAD\HOST DRAWINGS\BUILDING PERMIT\22038D02.DW





DETAILS AND NOTES

6950 SE MAKER ST., CITY OF MERCER ISLAND

DOROTHY STRAND

STRAND PROPERTY

KING COUNTY, WASHINGTON

JOB NO. 22038

PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- 3. ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 11/4" - 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST. 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL
- COMPONENTS. 8. 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY
- POSTS + BEAMS.
- 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM. 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS
- SHALL BE RATED AT 1.0 GPM OR LESS. 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2. 14. ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 15. CONTRACTOR TO COMPLETE AND POST 'INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION' FORM WITHIN 3' OF ELECTRICAL PANEL PRIOR
- TO FINAL INSPECTION. 16. WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- 17. SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY
- AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR. 18. WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER
- SRC M1507.3.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- 1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- 2. INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
- D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN. F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN.
- G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
- J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS. 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE
- 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).

VENTILATION @ KITCHEN.

- 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE
- VENTILATION OPENING SHALL BE WITHIN 3'-O" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

TOTAL GROSS FLOOR AREA:

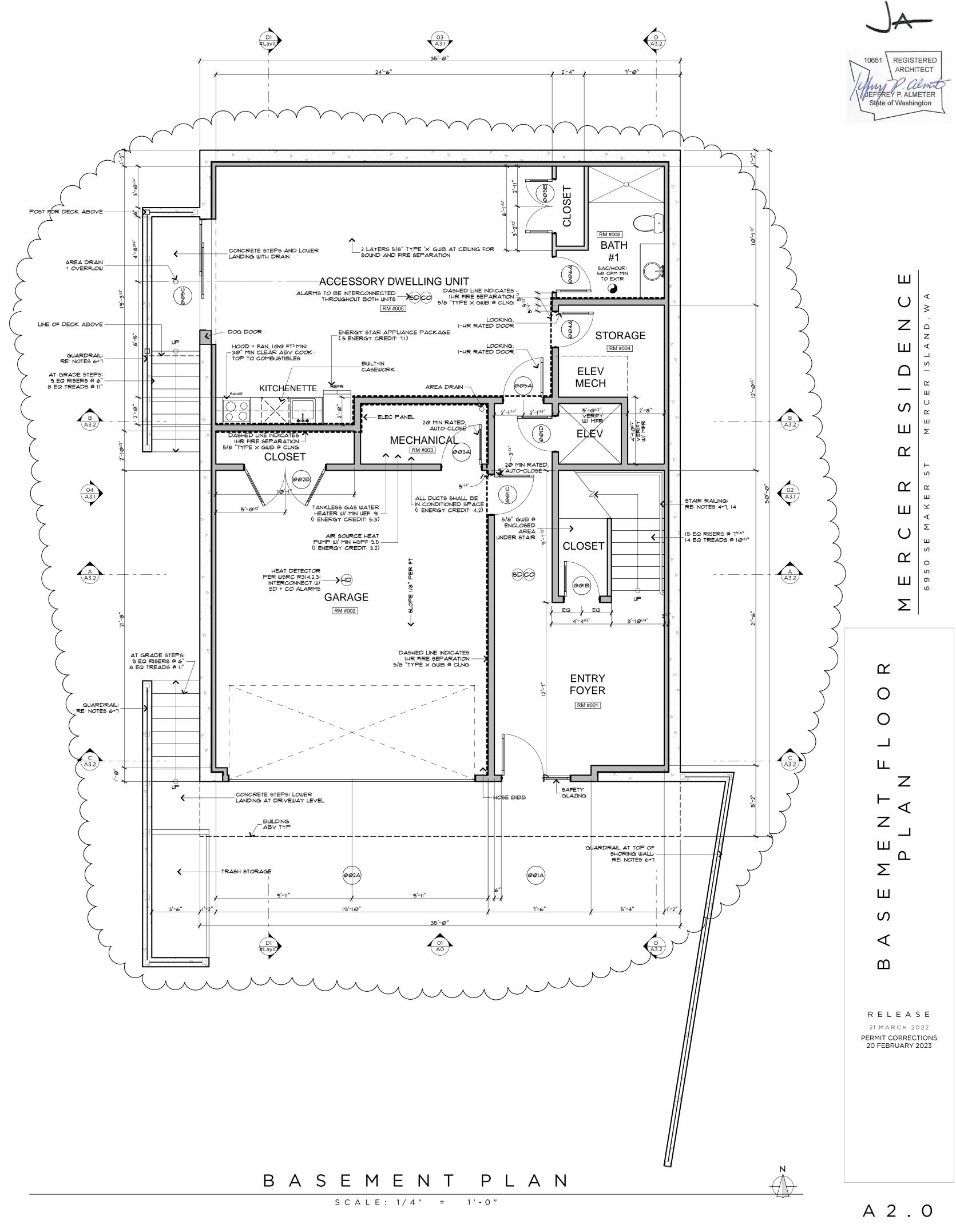
LOT AREA:	8,750 FT ²
MAXIMUM ALLOWABLE GFA:	(40%) 3,500 FT ²
ADDITIONAL GFA FOR ADU:	(5%) 437.5 FT ²
TOTAL ALLOWABLE GFA W/ ADU:	(45%) 3,937.5 FT
BASEMENT GFA (937.5 FT ² EXCLUDED SEE BELOW):	672 FT ²
FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c):	1,669 FT ²
SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER	1,529 FT ²
19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST	
FLOOR):	
SECOND FLOOR COVERED DECK GFA:	66 FT ²

BASEMENT FLOOR EXCLUSION CALCS:

WALL SEGMENT	LENGTH	COVERAGE %	RESULT
А	35′	0%	0'
В	46′	59.37%	27'-3"
С	35′	60.42%	21'-1"
D	46′	100%	46'-0"
TOTALS	162'		94'-4"
		Ç	94'-4" / 162' = 58.2
	1	,610 FT ² X 58.23% = 9	937.5 FT ² EXCLUE

1,610 FT² - 937.5 FT² = 672.5 FT²

(44.9%) 3,936 FT²



PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x6 UNO. 3. ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A
- GRASP DIMENSION BETWEEN 11/4" 2". 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4"
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL
- COMPONENTS. 8. 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY
- POSTS + BEAMS. 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM.
- 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1. 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS
- SHALL BE RATED AT 1.0 GPM OR LESS. 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2. 14. ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH.
- B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
- C. MINIMUM 6'-8" HEAD ROOM D. MINIUM LANDING LENGTH 36"
- 15. CONTRACTOR TO COMPLETE AND POST 'INSULATION CERTIFICATE FOR
- RESIDENTIAL CONSTRUCTION' FORM WITHIN 3' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- 16. WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- 17. SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL

INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.

18. WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SRC M1507.3.5 AND SHALL RUN INTERMITTENTLY.

1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.

WSEC 2018 NOTES:

- 2. INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
- D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN. F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN.
- G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
- J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID
- INSULATION @ INTERIOR SIDE OF WALL. 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.

4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE

- VENTILATION @ KITCHEN. 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION
- @ ALL BATHS + LAUNDRY. 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM
- EF OF 0.91 (WSEC 406.2, CREDIT 5c). 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL
- NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-O" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY
- AND PROVIDED TO THE CODE OFFICIAL. 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

TOTAL GROSS FLOOR AREA:

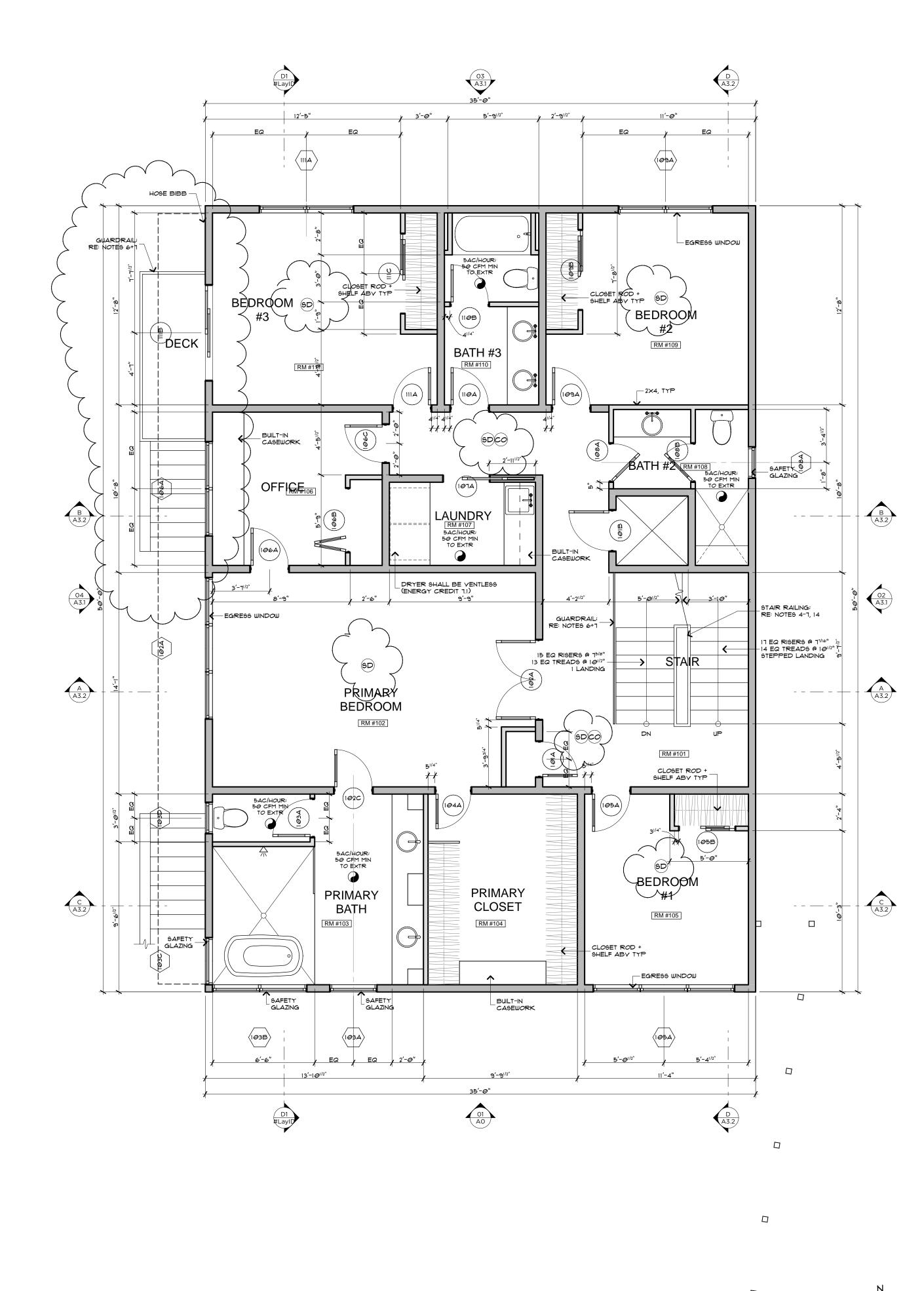
LOT AREA:	8,750 FT ²
MAXIMUM ALLOWABLE GFA:	(40%) 3,500 FT ²
ADDITIONAL GFA FOR ADU:	(5%) 437.5 FT ²
TOTAL ALLOWABLE GFA W/ ADU:	(45%) 3,937.5 FT
BASEMENT GFA (937.5 FT ² EXCLUDED SEE BELOW):	672 FT ²
FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c):	1,669 FT ²
SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER	1,529 FT ²
19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST	
FLOOR):	
SECOND FLOOR COVERED DECK GFA:	66 FT ²

BASEMENT FLOOR EXCLUSION CALCS:

WALL SEGMENT	LENGTH	COVERAGE %	RESULT		
А	35'	0%	0'		
В	46′	59.37%	27'-3"		
С	35'	60.42%	21'-1"		
D	46′	100%	46'-0"		
TOTALS	162'		94'-4"		
		g	94'-4" / 162' = 58.2		
	1	,610 FT ² X 58.23% = 9	937.5 FT ² EXCLUD		

1,610 FT² - 937.5 FT² = 672.5 FT²

(44.9%) 3,936 FT²



FIRST FLOOR PLAN

S C A L E : 1/4" = 1'-0"

A 2.1

RELEASE 21 MARCH 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023

JEFFREY P. ALMETER

State of Washington

MAKER AVE

Д

PLAN NOTES:

- 1. THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- 2. ALL EXTERIOR WALLS SHALL BE 2x4 LINO.
- 3. ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- 4. ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 111/4" 2".
- 5. ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
 6. ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE
- 7. ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED
 LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL
 COMPONENTS
- COMPONENTS. 8. 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY
- POSTS + BEAMS.

 9. ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM.
- 10. PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE
- CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.1.1.

 11. A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN
- 12. ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS
- SHALL BE RATED AT 1.0 GPM OR LESS.

 13. ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE
- BUILDING PER M1501.1 AND M1506.2.
- 14. ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS;
- A. MINIMUM 36" WIDTH.

 B. MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.

LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.

- B. MAXIMUM 7 3/4" RISER, MINIMUM I C. MINIMUM 6'-8" HEAD ROOM
- D. MINIUM LANDING LENGTH 36"
- 15. CONTRACTOR TO COMPLETE AND POST 'INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION' FORM WITHIN 3' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- 16. WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- 17. SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL
- INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.

 18. WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SRC MI507.3.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- 1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- 2. INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE
- TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.

 D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN.
- G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
- I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-1-RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
- J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- VENTILATION @ KITCHEN.
 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION

4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE

- @ ALL BATHS + LAUNDRY.6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM
- EF OF 0.91 (WSEC 406.2, CREDIT 5c).

 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL
- NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY
- AND PROVIDED TO THE CODE OFFICIAL.

 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

TOTAL GROSS FLOOR AREA:

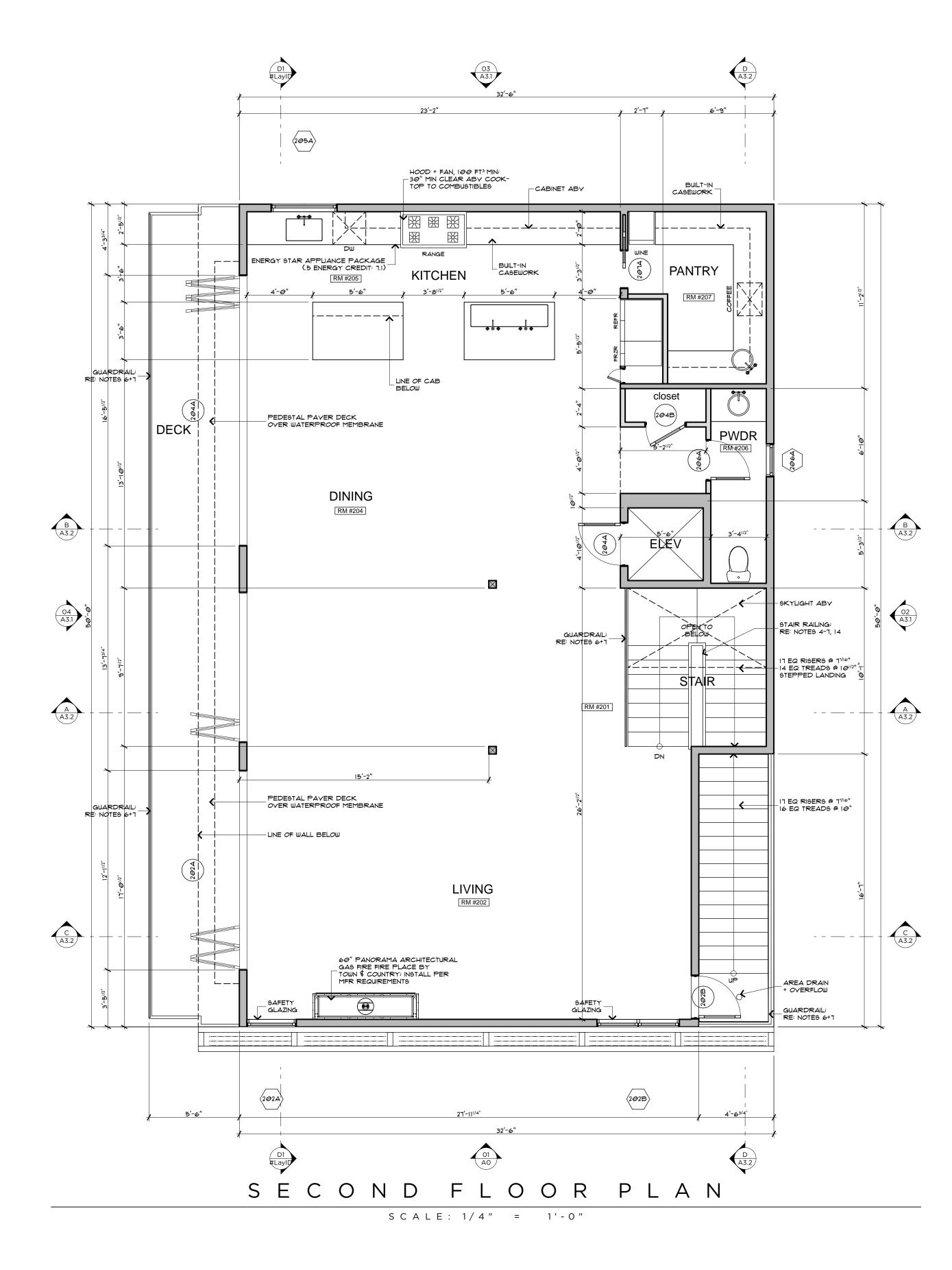
8,750 FT ²	LOT AREA:
(40%) 3,500 FT ²	MAXIMUM ALLOWABLE GFA:
(5%) 437.5 FT ²	ADDITIONAL GFA FOR ADU:
(45%) 3,937.5 FT	TOTAL ALLOWABLE GFA W/ ADU:
672 FT ²	BASEMENT GFA (937.5 FT ² EXCLUDED SEE BELOW):
1,669 FT ²	FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c):
1,529 FT ²	SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER
	19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST
	FLOOR):
66 FT ²	SECOND FLOOR COVERED DECK GFA:

BASEMENT FLOOR EXCLUSION CALCS:

WALL SEGMENT	LENGTH	COVERAGE %	RESULT
А	35'	0%	0'
В	46′	59.37%	27'-3"
С	35′	60.42%	21'-1"
D	46′	100%	46'-0"
TOTALS	162′		94'-4"
		g	94'-4" / 162' = 58.23

94'-4" / 162' = 58.23% 1,610 FT² X 58.23% = 937.5 FT² EXCLUDED 1,610 FT² - 937.5 FT² = 672.5 FT²

(44.9%) 3,936 FT²



10651 REGISTERED ARCHITECT

METER P. ALMETER State of Washington

MERCERIS

6950 SE MAKER ST MERCER IS

21 MARCH 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023



ROOF NOTES:

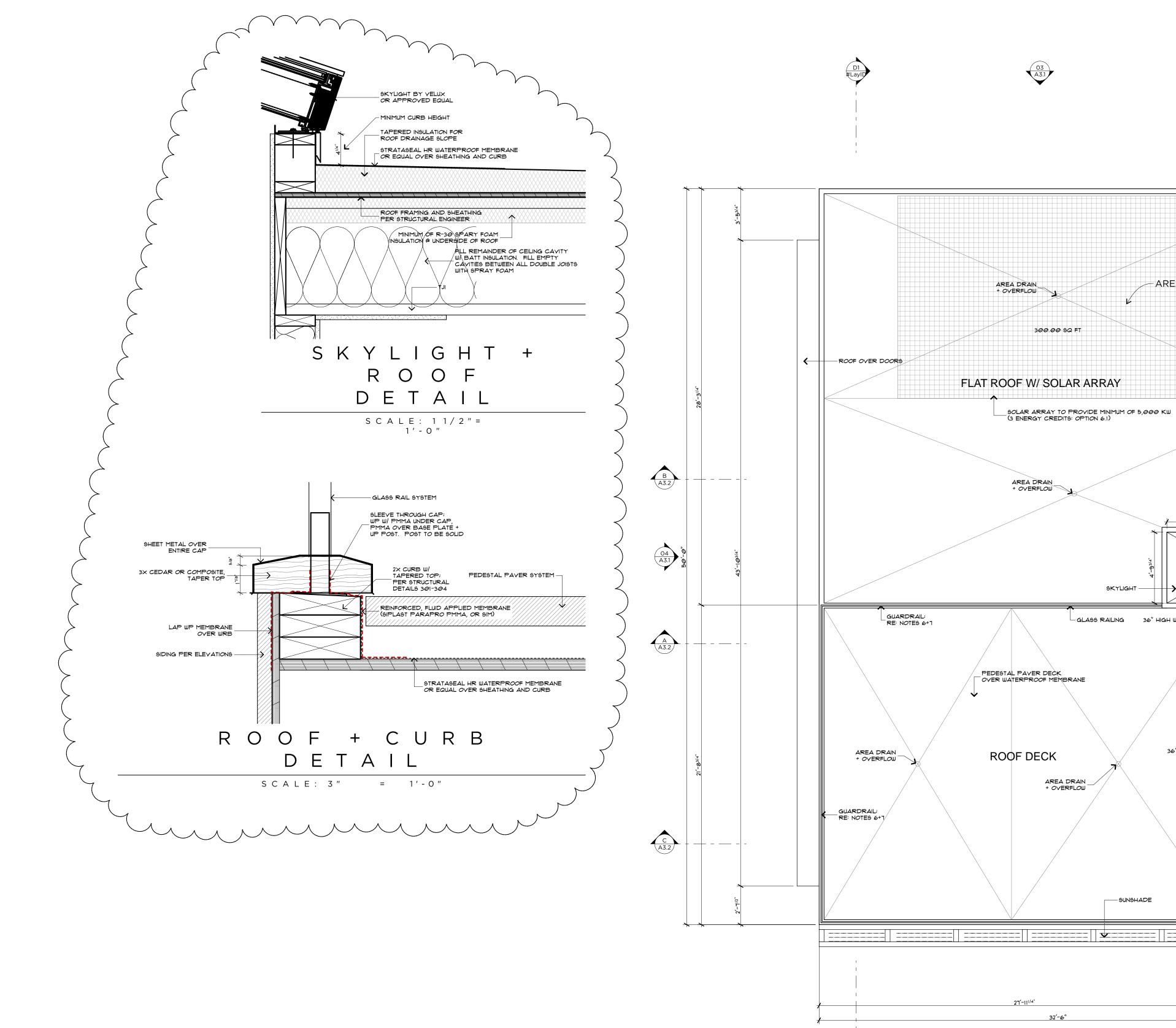
- 1. CHIMNEY SHALL EXTEND A MIN OF 2'-O" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY
- FLU + SPARK ARRESTOR MFR APPROVAL. 2. COORDINATE DOWNSPOUT LOCATION W/ JEFFREY ALMETER, INC. PRIOR
- TO INSTALLATION. 3. ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-
- 4. TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO
- JEFFREY ALMETER FOR DESIGN APPROVAL A MINIMUM OF 10 BUSINESS DAYS PRIOR TO TRUSS MANUFACTURING.

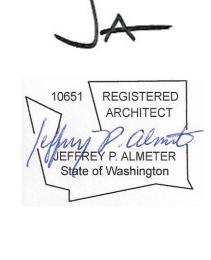
WSEC 2018 NOTES:

- 1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- 2. INSULATION VALUES SHALL BE AS FOLLOWS:
- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX. C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE
- TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN. D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-
- IN INSULATION MIN. E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.

F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT

- INSULATION MIN. G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT
- INSULATION MIN @ INTERIOR FRAMED WALL. H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT
- I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER. J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID
- INSULATION @ INTERIOR SIDE OF WALL. 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE
- REQUIREMENTS. 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
- 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.





AREA FOR SOLAR PANELS

36" HIGH WALL —

17 EQ RISERS @ 71/16"

9TAIR RAILING; RE: NOTES 4-1, 14

16 EQ TREADS @ 10"

SKYLIGHT -

ROOF PLAN

S C A L E : 1/4" = 1'-0"

GLASS RAILING 36" HIGH WALL —

36" HIGH WALL —

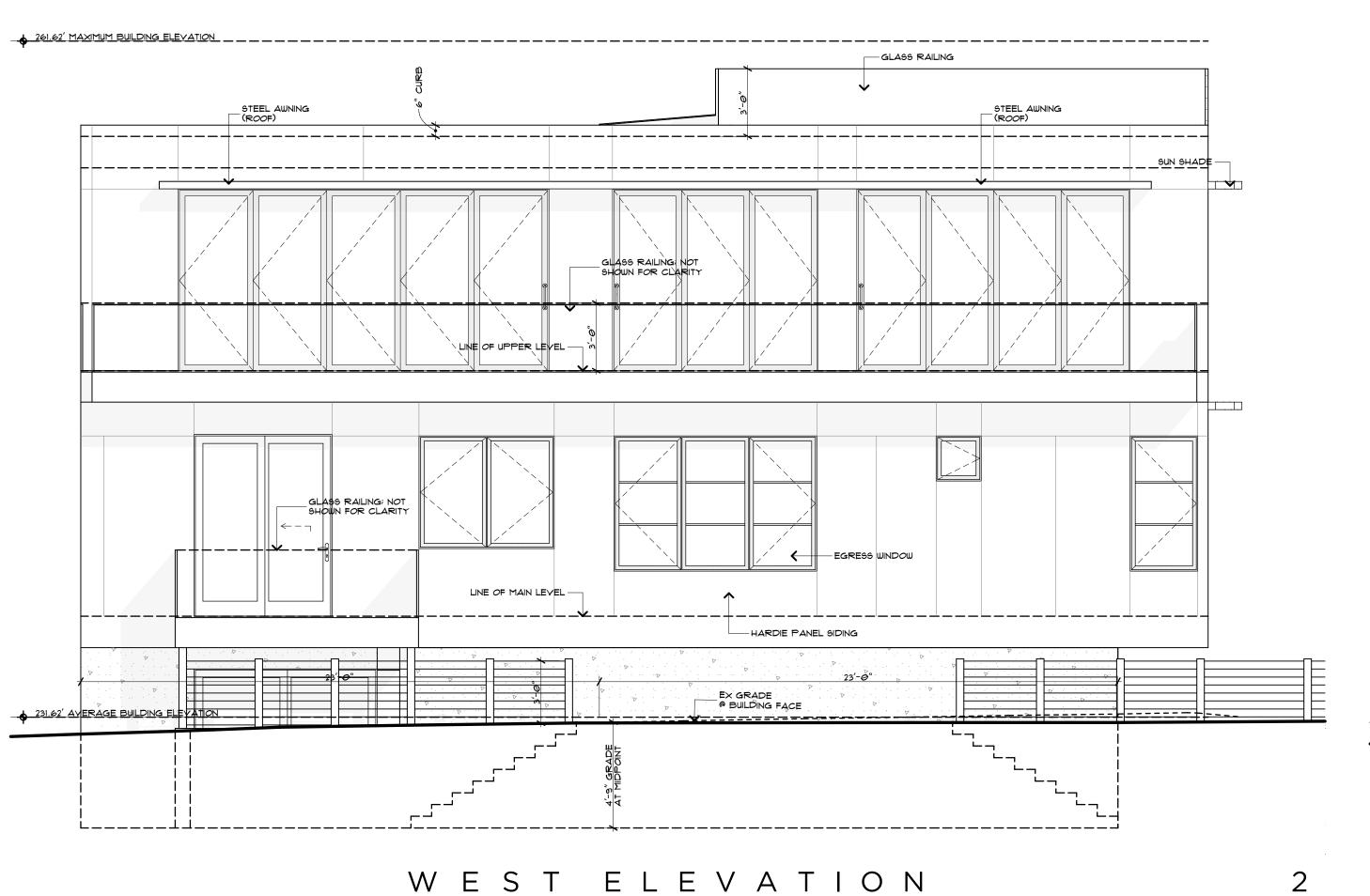
0 0

RELEASE 21 MARCH 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023

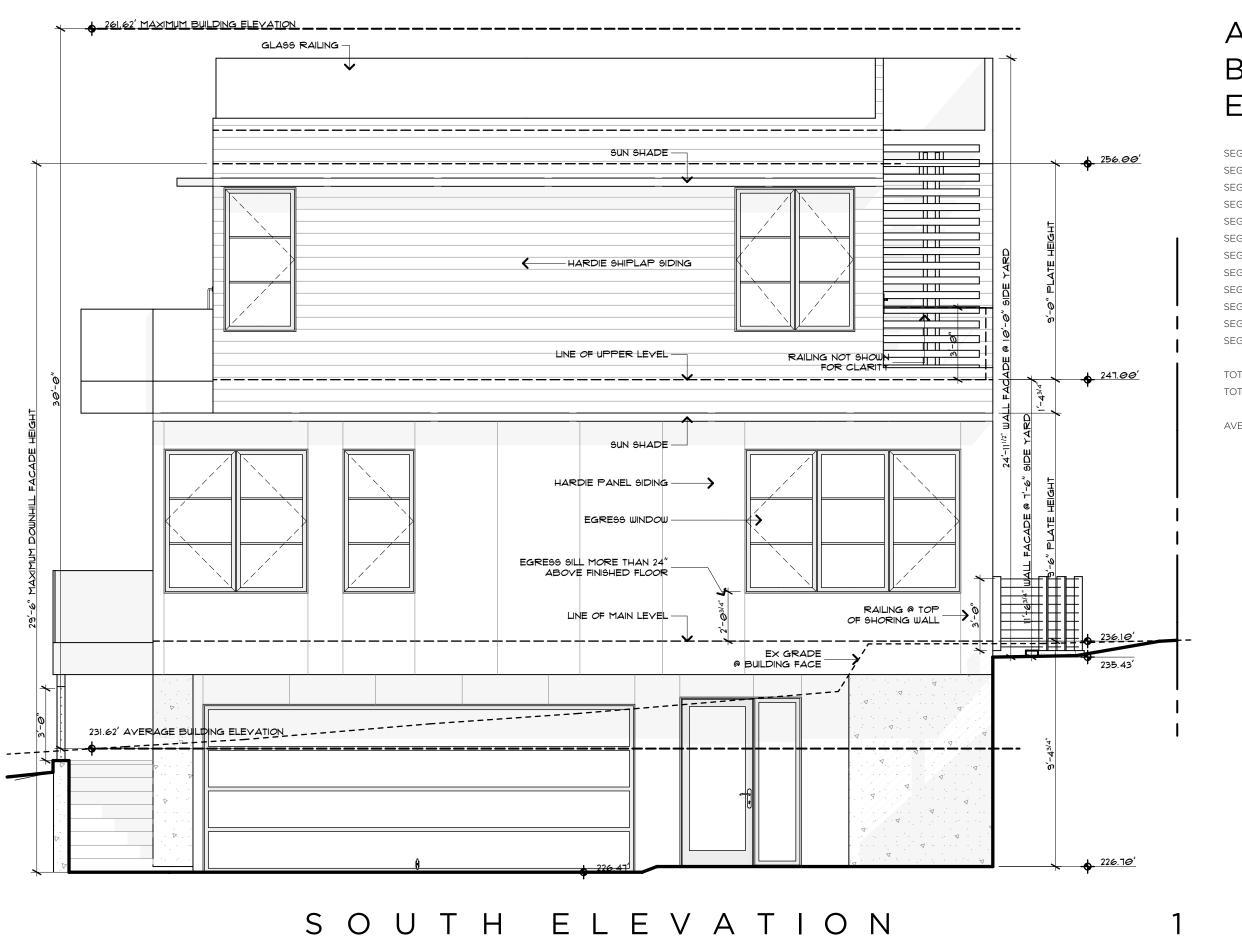


A 2.3

MAKER AVE



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

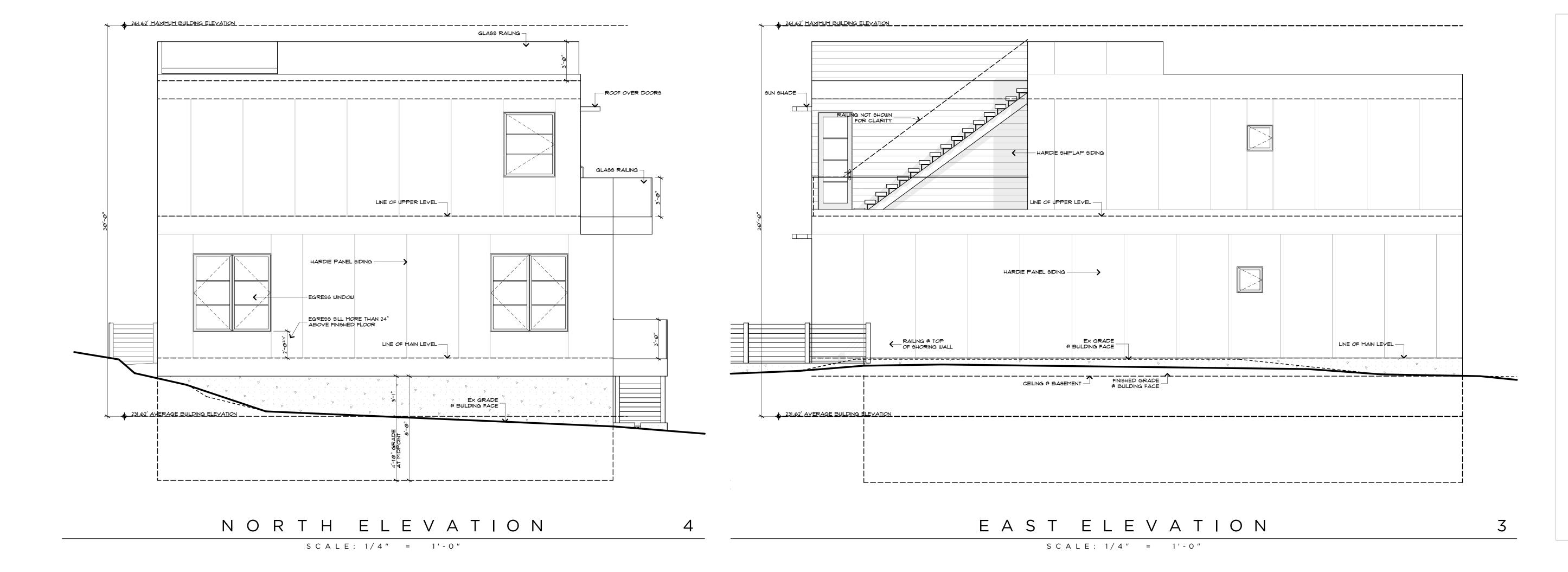
AVERAGE BUILDING ELEVATION CALCS:

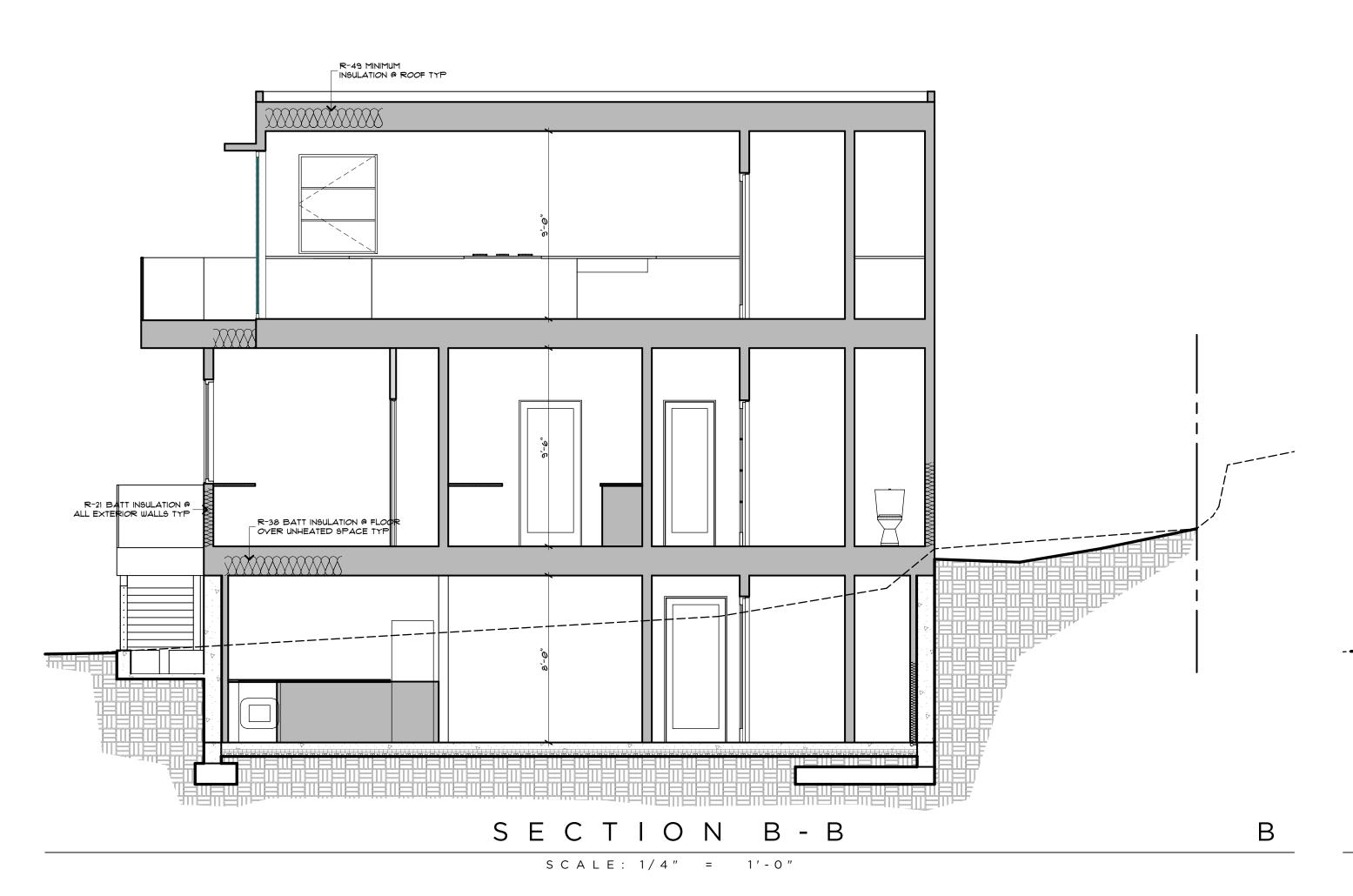


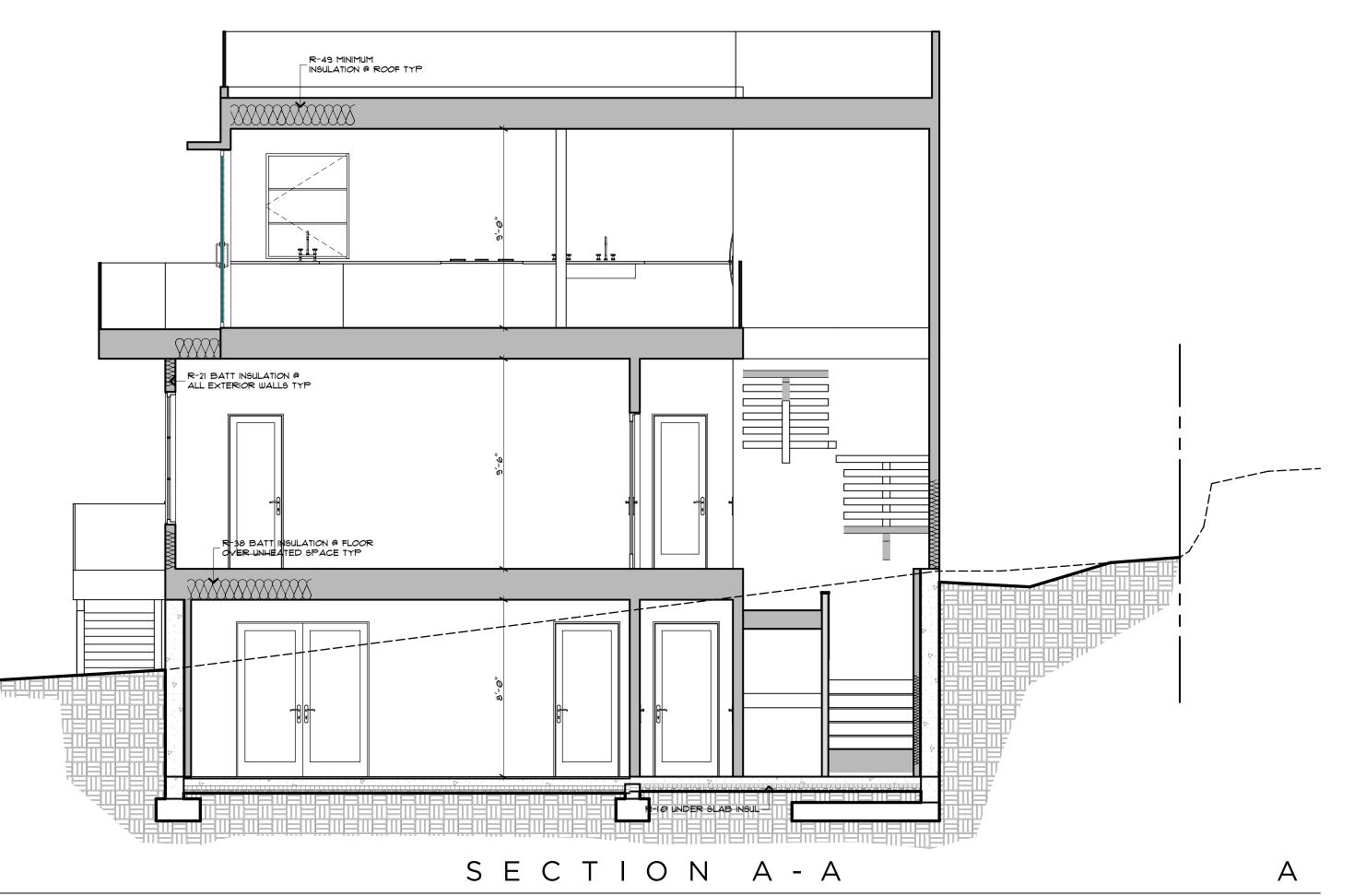


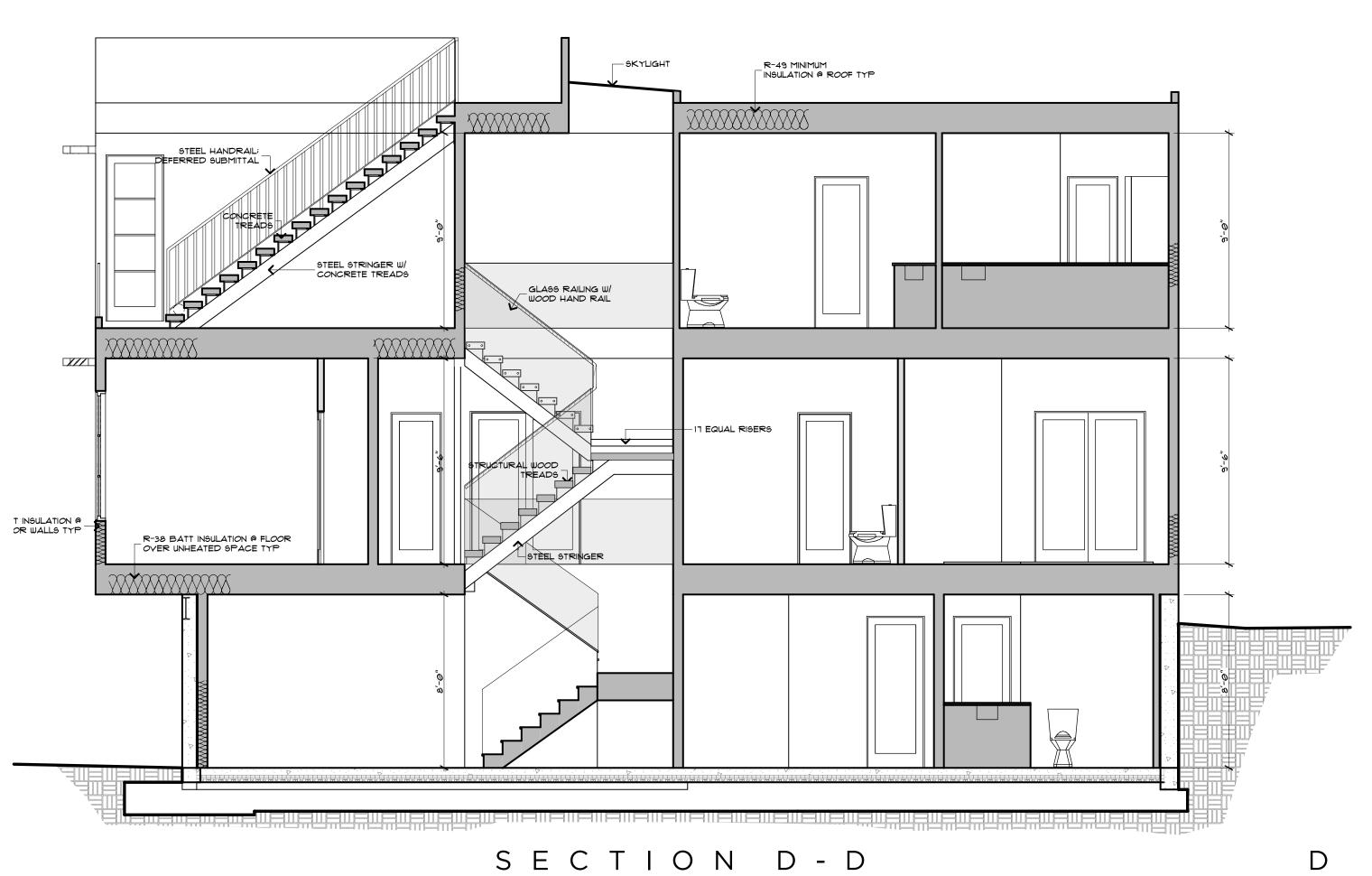
MERCERISLAND, WA



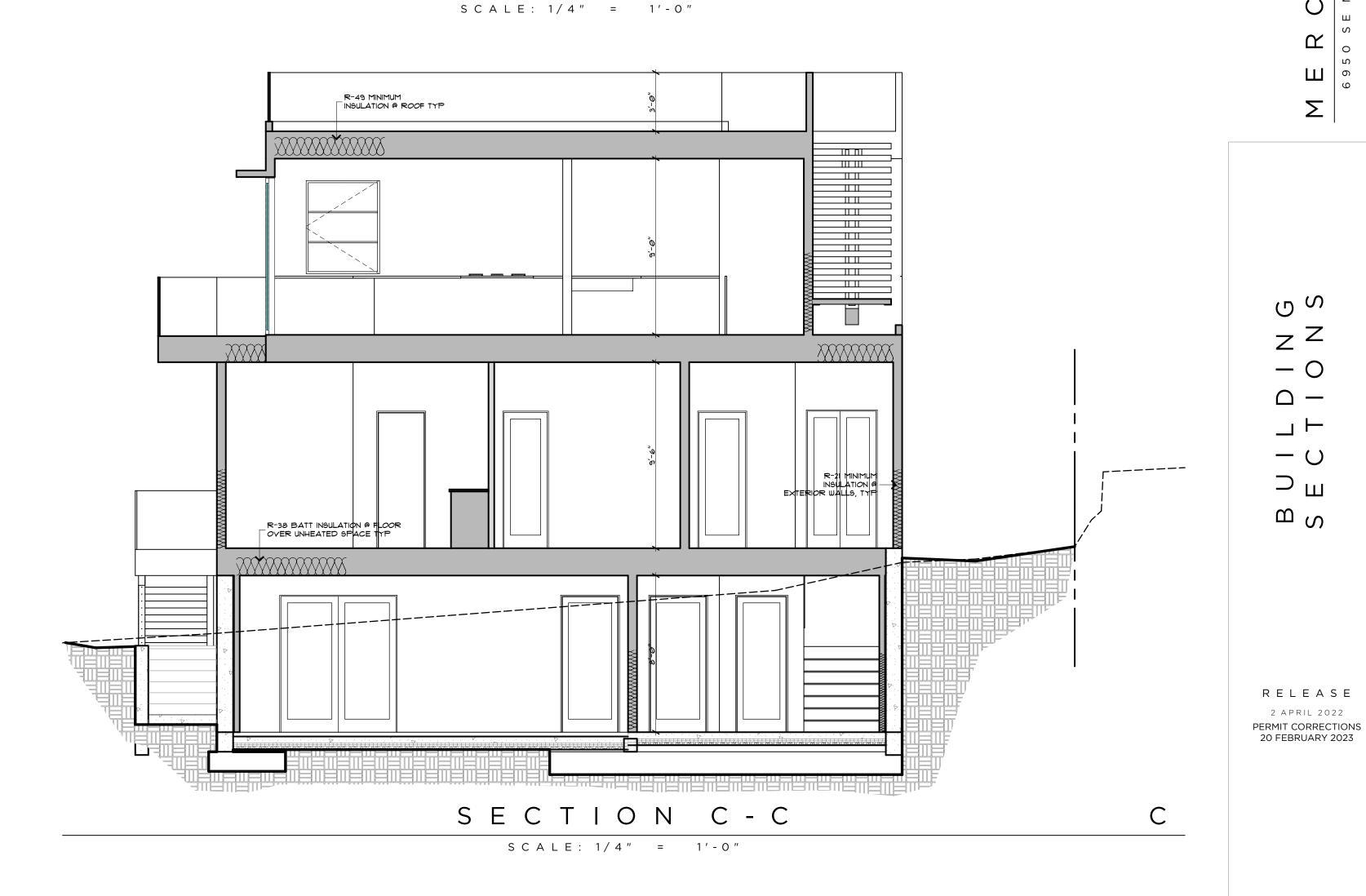








S C A L E: 1/4" = 1'-0"



Q S

S B

2 APRIL 2022

WSEC 2018 NOTES:

1. THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.

2. INSULATION VALUES SHALL BE AS FOLLOWS:

- A. ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
- B. ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
- C. ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
- D. ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
- E. ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
- F. ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
- G. ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
- H. ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
- I. ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10
- RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.

 J. ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID
- INSULATION @ INTERIOR SIDE OF WALL.

 3. RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE
- 4. PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE

REQUIREMENTS.

- VENTILATION @ KITCHEN.

 5. PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION
- @ ALL BATHS + LAUNDRY. 6. NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM
- EF OF 0.91 (WSEC 406.2, CREDIT 5c).

 7. AT CRAWLSPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT 2 FOR EACH 300 FT 2 OF UNDER-FLOOR AREA. ONE
- VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.

 8. THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR
- LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1

 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY
- AND PROVIDED TO THE CODE OFFICIAL.

 9. AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF

CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

DOOR SCHEDULE: (ALL GLAZING TO BE NFRC CERTIFIED)

DOOR NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	HARDWARE	NOTES / REMARKS
001A	3'-0"	7'-0"	ENTRY	CLAD WOOD	PAINTED	TBD	WITH 2'-0" SIDELIGHT
001B	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	
001C	3'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	20-MIN RATED, AUTO-CLOSE
001D	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	LOCKING, ELEVATOR
002A	18'-0"	7'-0"	OVERHEAD	WOOD	PAINTED	TBD	
002B	6'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	
003A	3'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	20 MIN RATED, AUTO-CLOSE
004A	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	LOCKING, 1-HR RATED
005A	3'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	LOCKING, 1-HR RATED
005B	4'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	
005C	9'-0"	7'-0"	BI-FOLD	CLAD WOOD	PAINTED	TBD	3-PANEL
005C	9'-0"	8'-0"	BI-FOLD	CLAD WOOD	PAINTED	TBD	3-PANEL, SAFETY GLAZING
006A	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	
101A	2'-4"	7'-0"	SWING	WOOD	PAINTED	TBD	
101B	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	ELEVATOR, LOCKING
102A	5'-0"	7'-0"	SWING	WOOD	PAINTED	TBD	PAIR
102B	8'-0"	7'-0"	SLIDER	CLAD WOOD	PAINTED	TBD	LOCKING, SAFETY GLAZING
102C	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
103A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
104A	2'-4"	7'-0"	SWING	WOOD	PAINTED	TBD	
105A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
105B	3'-6"	7'-0"	BYPASS	WOOD	PAINTED	TBD	CLOSET
106A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
106B	4'-0"	7'-0"	BI-FOLD	WOOD	PAINTED	TBD	
106C	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
107A	3'-0"	7'-0"	POCKET	WOOD	PAINTED	TBD	
108A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
108B	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
109A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
109B	5'-0"	7'-0"	BYPASS	WOOD	PAINTED	TBD	CLOSET
110A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
110B	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
111A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
111B	6'-0"	8'-0"	SLIDER	CLAD WOOD	PAINTED	TBD	2-PANEL, WITH SCREEN
111C	5'-0"	7'-0"	BYPASS	WOOD	PAINTED	TBD	CLOSET
202A	12'-0"	8'-0"	BI-FOLD	CLAD WOOD	PAINTED	TBD	4-PANEL, SAFETY GLAZING
202B	2'-8"	7'-8"	SWING	WOOD/GLASS	PAINTED	TBD	SAFETY GLAZING
204A	2'-8"	7'-0"	SWING	WOOD	PAINTED	TBD	ELEVATOR, LOCKING
204A	16'-4"	8'-0"	BI-FOLD	CLAD WOOD	PAINTED	TBD	6-PANEL, SAFETY GLAZING
204B	111/2"	7'-0"	SWING	WOOD	PAINTED	TBD	
204B	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
206A	2'-6"	7'-0"	SWING	WOOD	PAINTED	TBD	
207A	2'-4"	7'-0"	POCKET	WOOD	PAINTED	TBD	

WINDOW SCHEDULE: (ALL GLAZING TO BE NFRC CERTIFIED)

WINDOW NO.	WIDTH	HEIGHT	HEADER	TYPE	MATERIAL	FINISH	NOTES / REMARKS
102A	9'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	TRIPLE, EGRESS
103A	3'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	
103B	6'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	PAIR
103C	3'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	
103D	2'-0"	2'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	
105A	9'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	TRIPLE, EGRESS
106A	6'-0"	5'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	PAIR
108A	2'-0"	2'-0"	7'-0"	CASEMENT	CLAD WOOD	PAINTED	
109A	6'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	PAIR, EGRESS
111A	6'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	PAIR
202A	3'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	
202B	5'-0"	6'-0"	8'-0"	CASEMENT	CLAD WOOD	PAINTED	PAIR
205A	4'-0"	5'-0"	8'-0"	FIXED	CLAD WOOD	PAINTED	
206A	2'-0"	2'-0"	7'-0"	CASEMENT	CLAD WOOD	PAINTED	

NANAWALL SYSTEM CPD INFO

CPD#		U-factor	SHGC	VT	15 15	densation esistance	Air Leakage Rating Ratin (Standard (Enhan		entilation Rating Enhanced Screen)				Close		
NAN-M-1-	03122-00001	0.30	0.21	0.39		59			2						
Group ID	Manuf	anufacturer Product Code			Frame/Sas Type	h Glazin Layer	100	Low-E	Gap Widths	Spacer	Gap Fill	Grid	Divider	Tint	
1	"Outswing-Floor Mounted-Flush Sill: SKN 165 / Arg / Clear - 1"" (1/4""-5/32"")"				KN	WA/WA	2		0.019(2)	0.625	TP-D	Fill 1: ARG/AIR(90/10)	N	i) = :	CL

PELLA SLIDING DOOR CPD INFO

С	CPD # U-factor SHGC VT Condensation Resistance Condensation Resistance Resistance Screen Volume (Standard Screen)		Rating Enhanced				Close							
PEL-N-237 00001	7-00945-	0.28 0.17		0.39	57									
Group ID	ID Manufacturer Product Code		Frame/S		Glazing Layers	Low-E	Gap Widths	Spacer	Gap Fill	Grid	Divider	Tint		
1 "Pine - 3mm		366 Arg 3m	nm - 13/1	16"""	WA/V	/A	2	0.02(2)	0.58	SS-D	Fill 1: ARG/AIR(90/10)	N	-	CL





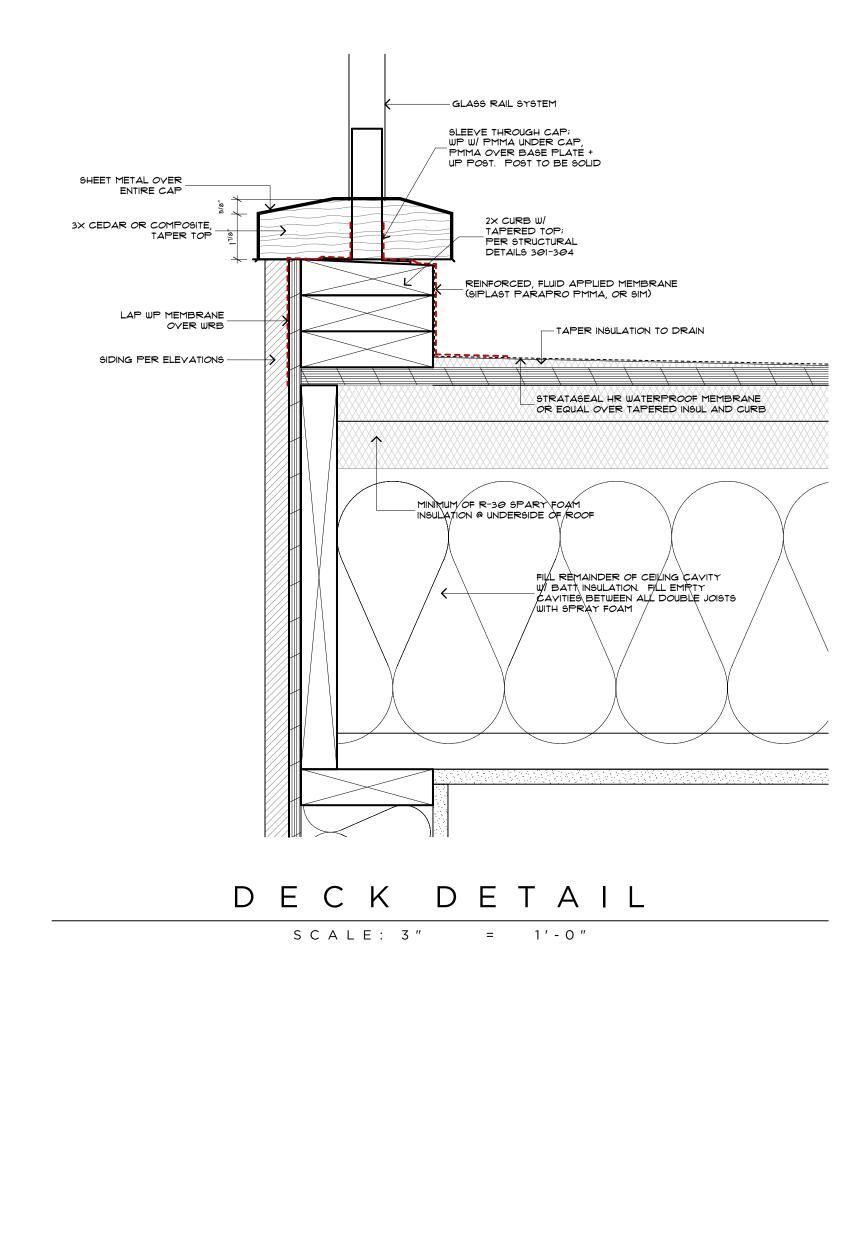
M H K C H K K H S - D H N C 6950 SE MAKER ST MERCER ISLAND, WA

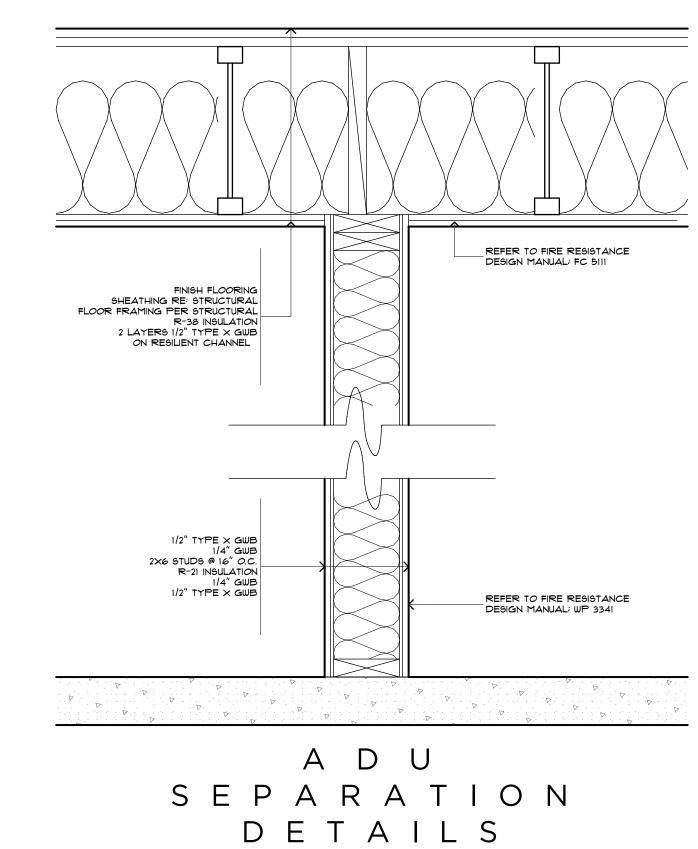
DOOR + WINDOV SCHEDULES

RELEASE
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023

A 4 . 1

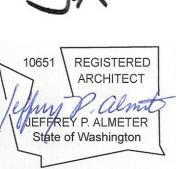






S C A L E: 1 1/2" = 1'-0"





S

RELEASE 21 MARCH 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023

MAKER AVE

STRUCTURAL NOTES:

CODE:

CODE: INTERNATIONAL BUILDING CODE 2018, (SEATTLE BUILDING CODE 2018) ASCE/GEI 1-16 LOADS: ROOF LIVE(SNOW)= 25 PSF, FLOOR LIVE= 40 PSF, DECK LIVE= 60 PSF ROOF DEAD = 25 PSF (INCLUDE SOLAR PANEL), FLOOR DEAD = 12 PSF ROOF DECK DEAD = 20 PSF

SEIS: RISK CATEGORY 'II', DESIGN CATEGORY 'D', R= 6.5 (WOOD FRAME WALL SHT'G W/ STRUCTURAL PANELS) R= 5.0 (SPECIAL REINFORCED CONCRETE SHEAR WALLS) $S_8 = 1.414 \text{ g}, S_1 = 0.492 \text{ g}, F_a = 1.00, F_v = 1.808 S_{D8} = 0.943 \text{ g}, S_{D1} = 0.593 \text{ g}$ WIND: 110 MPH, EXPOSURE 'B', Kzt = 1.38

FOUNDATIONS:

EXTEND FOOTINGS TO FIRM UNDISTURBED SOIL, ALLOWABLE BEARING CAPACITY OF 3,000 PSF. ALL EXTERIOR FOOTINGS SHALL EXTEND A MINIMUM OF 1'-6" BELOW ADJACENT EXTERIOR FINISH GRADE. USE ACTIVE EARTH PRESSURE 35 pcf (NORTH & WEST WALL) 55 psf (EAST WALL) FOR LATERAL EARTH PRESSURE AND SEISMIC INCREASE OF 9H (UNIFORM DISTRIBUTION) FOR CONCRETE WALL. SEE THE SOIL REPORT * JN 22001 FROM GEOTECH CONSULTANTS, INC (MARCH 21, 2022) FOR THE ADDITIONAL RECOMMENDATIONS OF SLAB ON GRADE, COMPACTION AND ETC.

CAST-IN-PLACE CONCRETE:

FIG=3,000 PSI @ 28 DAYS. MINIMUM 5-1/2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. MAXIMUM SIZED AGGREGATE IS 1-1/2 INCHES. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906 AND ACI 301, INCULING TESTING PROCEDURES. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE. ALL REINFORCING STEEL DOWELS ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO POURING CONC.

REINFORCING STEEL:

ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND THE MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION BY CRSI. DEFORMED REINFORCING STEEL BARS SHALL CONFORM TO ASTM GRADE 60. ALL REINFORCING BAR BENDS SHALL BE MADE COLD, WITH A MINIMUM RADIUS OF 6 BAR DIAMETERS (1'-7" MINIMUM). CORNER BARS (2'-0" BEND) SHALL BE PROVIDED FOR ALL HORIZONTAL REINFORCEMENT. LAP ALL BARS A MINIMUM OF 48 BAR DIAMETERS UNLESS NOTED OTHERWISE. UNLESS OTHERWISE NOTED ON THE DRAWINGS REINFORCING STEEL SHALL HAVE THE FOLLOWING MINIMUM COVER:

CONCRETE CAST AGAINST EARTH CONCRETE EXPOSED TO EARTH OR WEATHER: CONCRETE NOT EXPOSE TO EARTH OR WEATHER: *11 BAR AND SMALLER SLAB-ON-GRADE (FROM TOP SURFACE)

STRUCTURAL TIMBER:

ALL GRADES SHALL CONFORM TO WWPA GRADING RULES FOR WESTERN LUMBER, LATEST EDITION. PROVIDE CUT WASHERS UNDER ALL NUTS AND BOLTS BEARING AGAINST WOOD. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL STRUCTURAL LUMBER SHALL BE NOTED BELOW!

6x BEAM & POST, 2x6 STUDS, 2x8, 2x10 2x6 STUD WITH 1/2" PLYWOOD WALL SHT'G DOUGLAS-FIR / LARCH *2

HEM-FIR 12

INTERIOR 2x STUDS, LUMBER NOT NOTED

MISCELLANEOUS HANGERS TO BE SIMPSON OR APPROVED EQUAL. ALL HANGERS SHALL BE FASTENED TO WOOD WITH MAXIMUM NAILS-ALL HOLES SHALL BE NAILED. ALL NAILS SHALL BE COMMON WIRE NAILS. PROVIDE NAILING SHALL BE IN ACCORDANCE WITH "I.B.C. 2018" TABLE 2304.10.1 FASTENING SCHEDULE.

ROOF & FLOOR SHEATHING:

ROOF SHEATHING SHALL BE % A.P.A. RATED SHEATHING. 5-PLY, SPAN RATING 32/16, INSTALLED LONG DIMENSION ACROSS SUPPORTS, PANEL END JOINTS SHALL OCCUR AT SUPPORTS, NAIL AT PANEL EDGES WITH 10d COMMON (=0.148" +x21/2") = 6" O.C. AND 12" O.C. AT INTERMEDIATE SUPPORTS. FLOOR SHEATHING SHALL BE 3/4" T&G SPAN RATING 40/20 WITH 10'd COMMON ® 6" O.C. (EDGE) AND 10" O.C. (INTERM). USE 10 SCREWS (21/2" LONG) IN LIEU OF 10'D COMMON NAILS AT FLOOR CONTRACTOR'S OPTION. INSTALL PLYWOOD CLIP AT 48 INCHES ON CENTER. BLOCKING IS REQ'D ALL PANEL EDGES.

ANCHOR BOLTS:

ANCHOR BOLTS TO BE A-30T OR BETTER. ANCHOR BOLTS INTO CONCRETE SHALL BE 5/8 WITH I INCHES OF EMBEDMENT AND SPACED NOT MORE THAN 4' APART. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIER WITH BOLT LOCATED NOT MORE THAN 12 INCHES OR NOT LESS THAN 4 INCHES FROM EACH END OF EACH PIER. A PROPERLY SIZED NUT WITH 3"x3"x1"4." PLATE WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT TO THE P.T. 2x6 SILL PLATE.

PLYWOOD OR OSB WEB JOISTS:

JOISTS ARE SHOWN ON PLANS A 'TJI' TO BE TRUS JOIST OR EQUAL. JOIST ASSEMBLY TO TESTED UNDER 'IBC 2018' TESTING PROCEDURES. COMPLETE JOIST DESIGNS BEARING THE STAMP OF A REGISTERED PROFESSIONAL ENGINEER TO BE SUBMITTED FOR REVIEW. JOIST MANUFACTURER SHALL PROVIDE ALL SPECIALTY ITEMS FOR A NORMAL AND COMPLETE INSTALLATION OF THE JOISTS. INSTALL DOUBLE JOISTS UNDER PARTITIONS EXTENDING ONE HALF OR MORE OF JOIST SPAN.

MacMILLAN PARALLAM (PSL):

PARALLAM SHOWN ON PLAN TO BE TRUS JOIST MACMILLAN'S PARALLAM 22E OR APPROVED EQUAL. OTHER THAN MacMILLAN'S PARALLAM 22E SHALL HAVE ICBO APPROVALS SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW. Fb=2,900 psi., Fv = 290 psi, Fc= 650 psi, E= 2,200,000 psi.

MICROLAM (LYL):

MICROLAM SHOWN ON PLAN TO BE ILEVEL TRUSS JOIST MICROLAM 20E OR APPROVED EQUAL. OTHER THAN MICROLAM 2.0E SHALL HAVE ICBO APPROVALS SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW. Fb=2600 psi, Fv = 285 psi, Fc= 750 psi, E= 2000,000 psi.

GLUED-LAMINATED TIMBER

LAMINATED TIMBER SHALL BE DOUGLAS-FIR/LARCH KILN DRIED. STRESS GRADE COMBINATION 24F-Y4 (Fb=2,400 PSI, FV=165 PSI) FOR SIMPLE SPAN. A.I.T.C. CERTIFICATE OF CONFORMANCE REQUIRED. GLU-LAMS SHALL CONFORM TO A.I.T.C. STANDARDS 11T. FABRICATOR SHALL SUBMIT DETAILS AND SPECIFICATIONS TO THE ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION.

STRUCTURAL STEEL:

WIDE FLANGE SHAPES TO BE ASTM A992, GRADE 50, Fy = 50 KSI. CHANNELS, ANGLES, AND PLATES TO BE ASTM A36, Fy = 36 KSI. HSS SECTIONS SHALL BE ASTM A500, GRADE B, Fy = 46 KSI WELD TO BE 3/16" MINIMUM CONTINUOUS FILLET, BY CERTIFIED WELDERS USING ETØXX ELECTRODES. ALL WELDS SHALL CONFORM TO THE LATEST EDITION OF AWS DII. BOLT SHALL BE BEARING TYPE CONNECTIONS USING A325-N BOLTS. ALL BOLTS SHALL BE INSTALLED WITH HARDEN WASHERS CONFORMING TO ASTM F-436 AND NUTS CONFORMING TO ASTM A-563. ALL STEELS EXPOSED TO WEATHER SHALL BE HOT DIP GALYANIZED. ALL STEEL NOT EXPOSED TO WEATHER SHALL BE SHOP PRIMED.

SPECIAL CONDITIONS:

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER. THE CONTRACTOR SHALL PROVIDED ADEQUATE SHORING AS REQUIRED UNTIL PERMANENT CONNECTIONS AND STIFFENING HAVE BEEN INSTALLED. THE CONTRACTOR SHALL VERIFY SIZE AND ALL LOCATIONS OF ALL OPENINGS IN THE FLOOR, ROOF, AND WALLS WITH ALL THE APPROPRIATE DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING DEPARTMENT FOR ALL BUILDING DEPARTMENT REQUIRED INSPECTIONS. DO NOT SCALE THE DRAWINGS. THE DETAILS SHOWN ARE TYPICAL AND SHALL BE USED FOR LIKE OR SIMILAR CONDITIONS NOT SHOWN.

SPECIAL INSPECTIONS:

PROVIDE SPECIAL INSPECTIONS IN ACCORDANCE WITH CHAPTER IT OF 'IBC 2018' FOR FOLLOWING:

REINFORCING & ANCHOR BOLT PLACEMENT PERIODIC & PRIOR TO ALL CONCRETE POUR CONCRETE PLACEMENT PERIODIC & PRIOR TO ALL CONCRETE POUR CURING & FORM WORK PROCEDURES CONTINUOUS EXPANSION BOLTS & INSERTS PERIODIC INCLUDING TORQUE TESTS EPOXY GROUTED RODS & REBAR

PERIODIC INCLUDING INSPECTION OF HOLE CLEANLINESS & EMBEDMENT DEPTH PRIOR TO

SHEAR WALL SCHEDULE (12)

MARK SHEATHING SHEATHING AT ALL PANEL EDGES ADJOINING PANEL EDGES CONN. TO TOP PLATE NAILING TO WOOD BELOW (8) (1) (13)

CLIP # 12" O.C.

3. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF FULL HEIGHT WALLS ARE DESIGNED

6. BASED ON Ø.131 \$\times11/2" LONG NAILS USED TO ATTACH FRAMING CLIPS DIRECTLY TO FRAMING. USE Ø.131x21/2" NAILS WHERE INSTALLED OVER SHEATHING.

13. USE SIMPSON % O TITEN HD WITH STEEL PLATE WASHERS 1/4"x3"x3" EMBED 31/2" MINIMUM AT EXISTING CONC. STEM WALL. INSTEAD OF % O ANCHOR BOLTS.

8. ANCHOR BOLTS SHALL BE PROVIDED WITH STEEL PLATE WASHER 1/4"x3"x3". EMBED ANCHOR BOLTS 1" MINIMUM INTO THE CONCRETE.

NAILS AND CONNECTOR PLATES (FRAMING ANGLES, ETS.) FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.

4. SHEATHING EDGE NAILING REQUIRED AT ALL HOLDOWN POST. EDGE NAILING MAY ALSO BE REQUIRED TO EACH STUD USED IN BUILT-UP HOLDOWN POST. REFER TO

9. PRESSURE TREATED MATERIAL CAN CAUSE EXCESSIVE CORROSION IN THE FASTENERS. PROVIDE HOT-DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE)

II. CONTACT THE ENGINEER OF RECORD FOR ADHESIVE OR EXPENSION BOLT ALTERNATIVES TO CAST-IN-PLACE ANCHOR BOLTS, (SPECIAL INSPECTION WILL BE REQUIRED)

BY EXTERIOR OF THE BUILDING, CORRIDORS, WINDOWS, OR DOORWAYS OR AS DESIGNATED ON PLANS. SEE PLANS FOR HOLD-DOWN REQUIREMENTS. WALLS DESIGNATED

NAIL SIZE & SPACING STUD & BLOCKING SIZE AT RIM JOIST OR BLK'G 2x PLATE ATTACHMENT

(2)(5)(10)

2x6 DF *2

2x6 DF *2

3x6 DF *2

I. 15/32" APA RATED SHEATHING (5-PLY & 32/16 SPAN RATING). PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS.

ALL INSTALLATION

CONTINUOUS A325-N BOLT CONNECTION SOIL COMPACTION CONTINUOUS

TYPICAL EXTERIOR WALL CONSTRUCTION:

1. SHEATHING: $\frac{1}{2}$ APA RATED SHEATHING, EXTERIOR GLUE, EXTERIOR SIDE OF WALL, PANELS ARE APPLIED WITH LONG DIMENSION ACROSS STUDS, ALL PANEL EDGES BLOCKED, NAILING:

Ø.1314"x21/2" NAIL @ 6" O.C. : EDGES AND BOUNDARIES Ø.131"¢x21/2" NAIL \$ 12" O.C. : FIELD.

2. BOLTS AT P.T. 2x6 SILL PLATE TO CONCRETE WITH 5/4 A. BOLTS @ 48' O.C. A. BOLTS TO BE PLACED 4" TO 12" FROM END OF EACH PLATE. ALL A. BOLTS SHALL BE SECURED WITH 3'x3'x14" PLATE WASHER

3. EXTERIOR STUD SHALL BE 2x6 DF *2

W6 | 15/32" ONE SIDE | Ø.148" ♦ x 2½" ≈ 6" O.C.

| W4 | 15/32" ONE SIDE | Ø.148" + x 21/2" @ 4" O.C.

| (W3) | 15/32" ONE SIDE | Ø.148" + x 21/2" @ 3" O.C.

2. BLOCKING IS REQUIRED AT ALL PANEL EDGES.

THE HOLDOWN DETAILS FOR ADDITIONAL INFORMATION.

1. FRAMING CLIPS: A35 OR LTP4 OR APPROVED EQUIVALENT.

APA RATED

(1) (3) (4)

NOTES:

4. FASTEN DOUBLE PLATE TO JOIST OR BLOCKING ABOVE WITH Ø.148'4x3' TOE NAIL @ 6' O.C.

AS PERFORATED SHEAR WALLS REQUIRE SHEATHING ABOVE AND BELOW ALL OPENINGS.

5. INTERMEDIATE FRAMING TO BE WITH 2x MINIMUM MEMBERS. FIELD NAILING Ø.148°0×2½° € 12° O.C.

10. AT ADJOINING PANEL EDGES USE A SINGLE 3x6 DF 12 STUD FOR 1/1021 SHEAR WALL.

12. SHEAR WALL SCHEDULE BASED ON 2018 IBC FOR DOUG-FIR LARCH FRAMING.

5. 8d COMMON: Ø.1314"x21/2", 10d COMMON: Ø.148"4x3", 16d COMMON: Ø.161"4x31/2"

(3)(4)

STOP REINF. 1" CONT. EA. SIDE OF JOINT MESH REINF. OR *4 BAR (SEE PLAN)

CONSTRUCTION JOINT

STUD ---

PLYWD. SHT'G

PLYWD. SHT'G

CLIP @ 16' O.C. | Ø.148' \(\times \) 314' \(\times \) 6' O.C. | 5%' \(\times \) A.B. \(\times \) 48' O.C.

CLIP = 16' O.C. | 0.148' + x 314' = 4' O.C. | 5/8' + A.B. = 32' O.C.

Ø.148'\$ x 314' \$ 3' O.C.

EDGE NAIL

MIN 8' REQ'D FOR NEXT

TOP OR BOTTOM & SPLICE

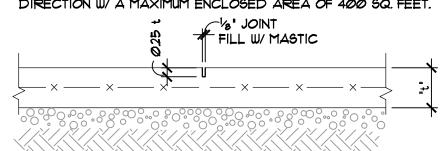
SILL PLATE ATTACHMENT

2x6 DF *2

2x6 DF *2

3x6 DF *2

SLAB JOINTS TO BE LOCATED BY THE CONTRACTOR W/ APPROVAL OF THE ARCHITECT. JOINTS TO BE LAID OUT IN A RECTANGULAR PATTERN NOT MORE THAN 20 FEET IN ANY DIRECTION W/ A MAXIMUM ENCLOSED AREA OF 400 SQ. FEET.



(TOTAL 12 EA. SIDE)

2x4 DF #2

BLK'G @

2x6 STUD

PLYWOOD

PANEL EDGE

SHEAR CAPACITY

SEIS WIND

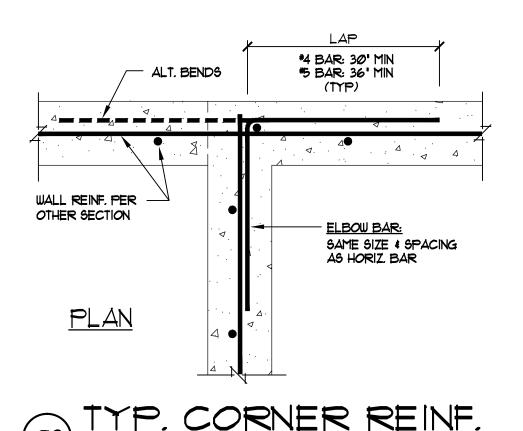
600 840

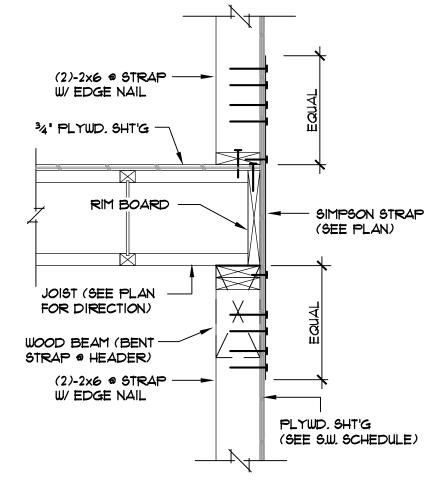
435

645

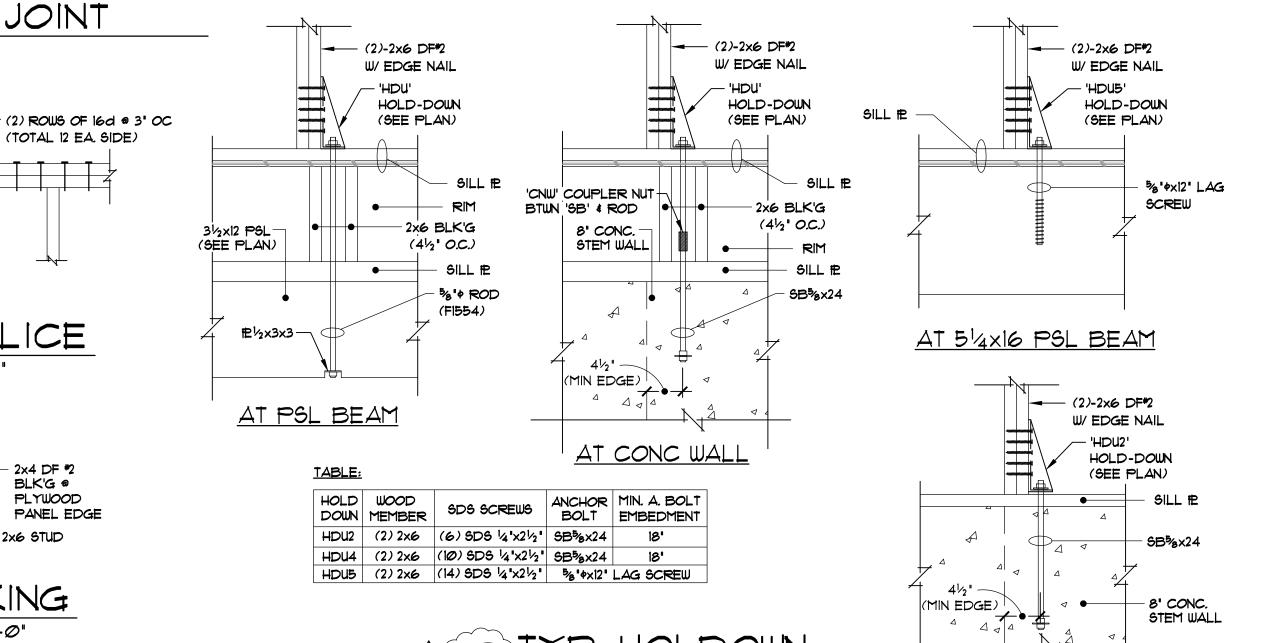
310

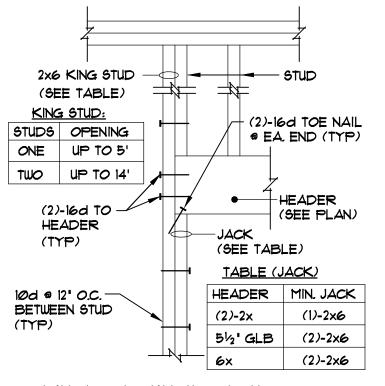
460





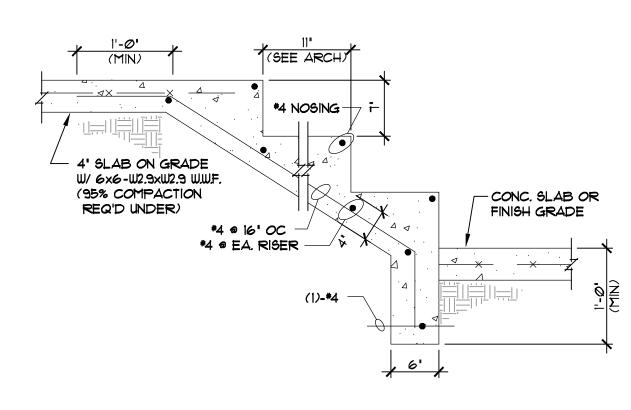






BEAM PERP. TO WALL (TYP. U.O.N.): 4x , 31/4x PSL: (2)-2x6 JACKS MIN. UNDER BEAM 6x , 514x PSL: (3)-2x6 JACKS MIN. UNDER BEAM





<u>AT CONC WALL</u>

<u>FOOTING</u>	<u>FOOTING</u>											
MARK	SIZE	REINFORCEMENT										
F3.5	3'-6'x3'-6'x12"	(4)-#5 (3'-0") EACH WAY (3" FROM BOTTOM OF FOOTING)										
F4.Ø	4'-0"x4'-0"x14"	(5)-#5 (3'-6") EACH WAY (3" FROM BOTTOM OF FOOTING)										

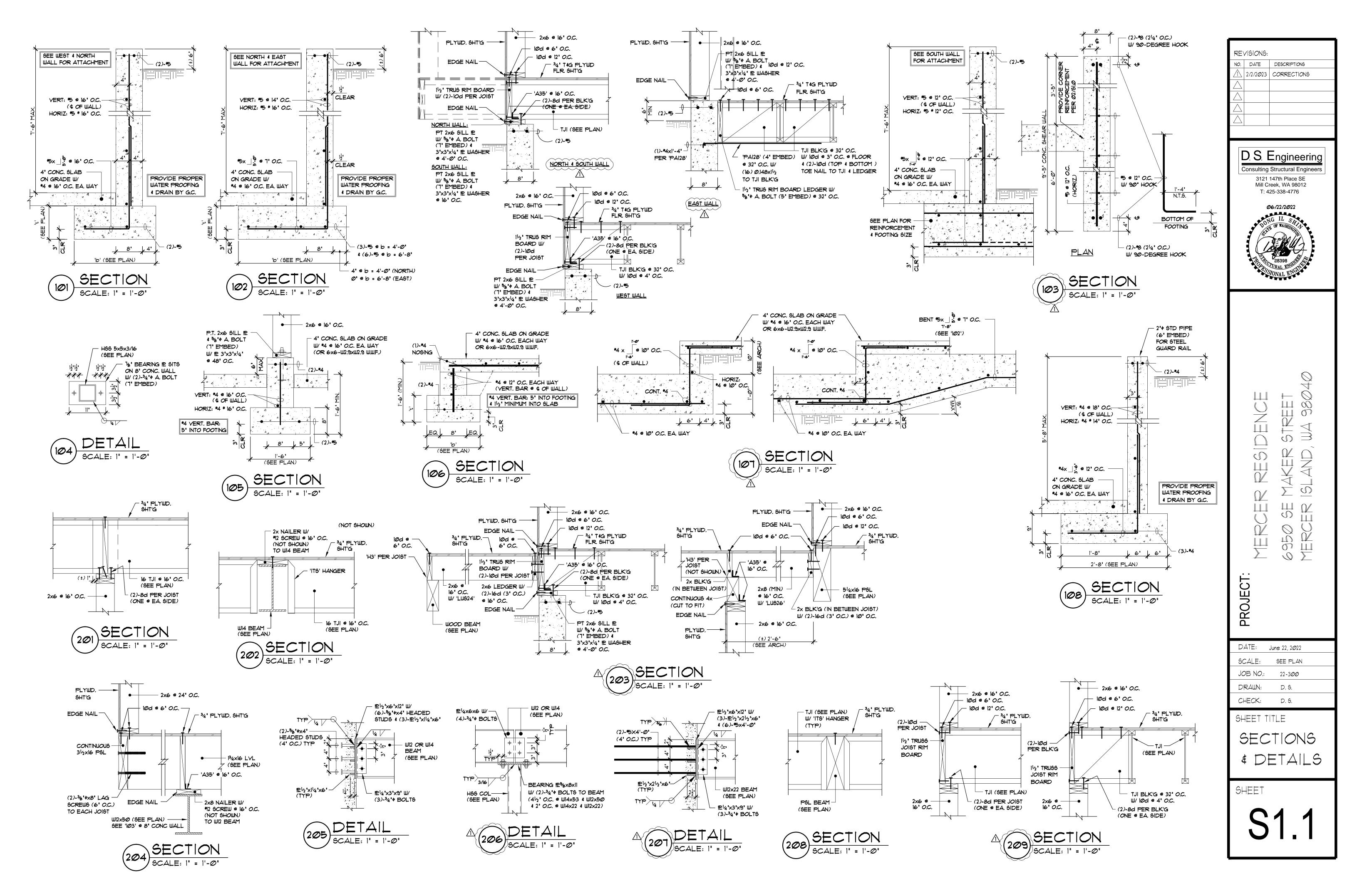
REVISIONS: NO. DATE DESCRIPTIONS |2/2/2023| CORRECTIONS

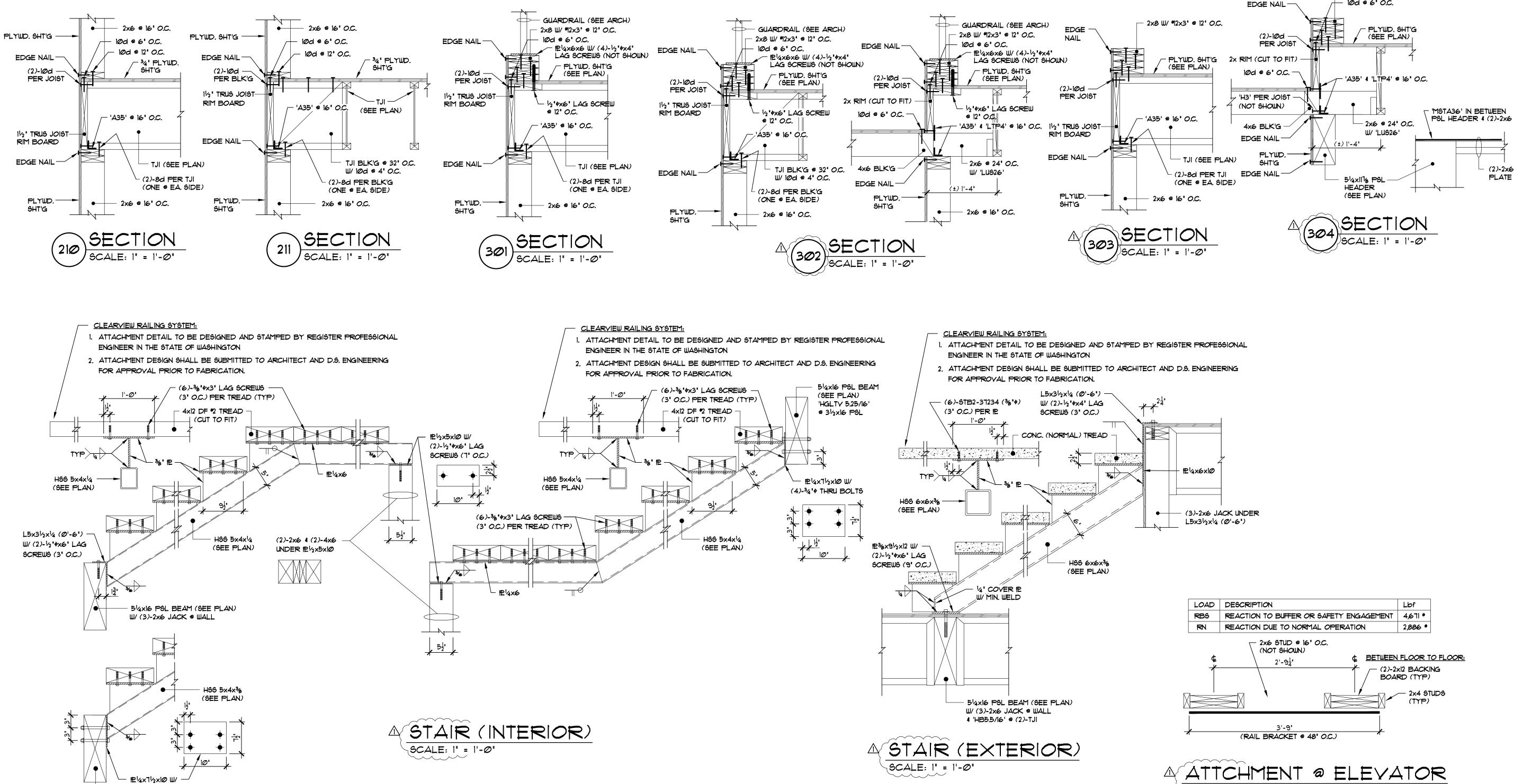


 \Box Q **PROJE**(

DATE: June 22, 2022 SEE PLAN JOB NO.: 22-3*00* DRAWN: D. S. CHECK: D. S.

SHEET TITLE GENERAL NOTES DETAILS AND SECTIONS





(4)-3/4" + THRU BOLTS

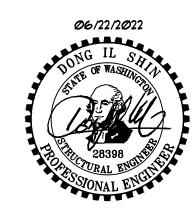
- 514×16 PSL BEAM (SEE PLAN) W/(3)-2×6 JACK ® WALL

	VISIONIS.			
REVISIONS:				
NO.	DATE	DESCRIPTIONS		
\triangle	2/2/2023	CORRECTIONS		

- 2x8 W/ #12x3" @ 12" O.C.

D. S. Engineering
Consulting Structural Engineers

3121 147th Place SE
Mill Creek, WA 98012
T: 425-338-4776



PROJECT:

MERCER RESIDENCE

6950 SE MAKER STREET

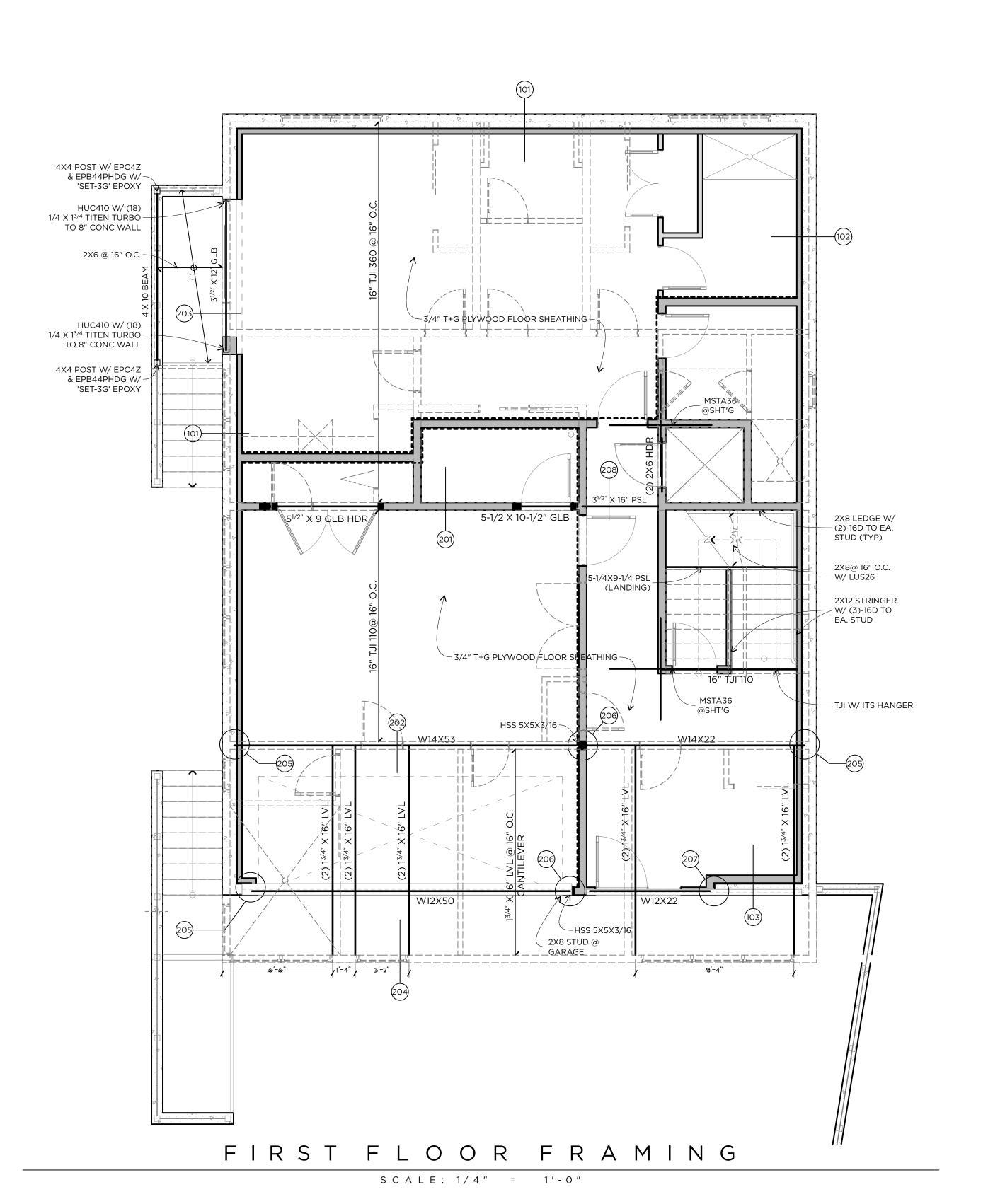
MERCER ISLAND, WA 98040

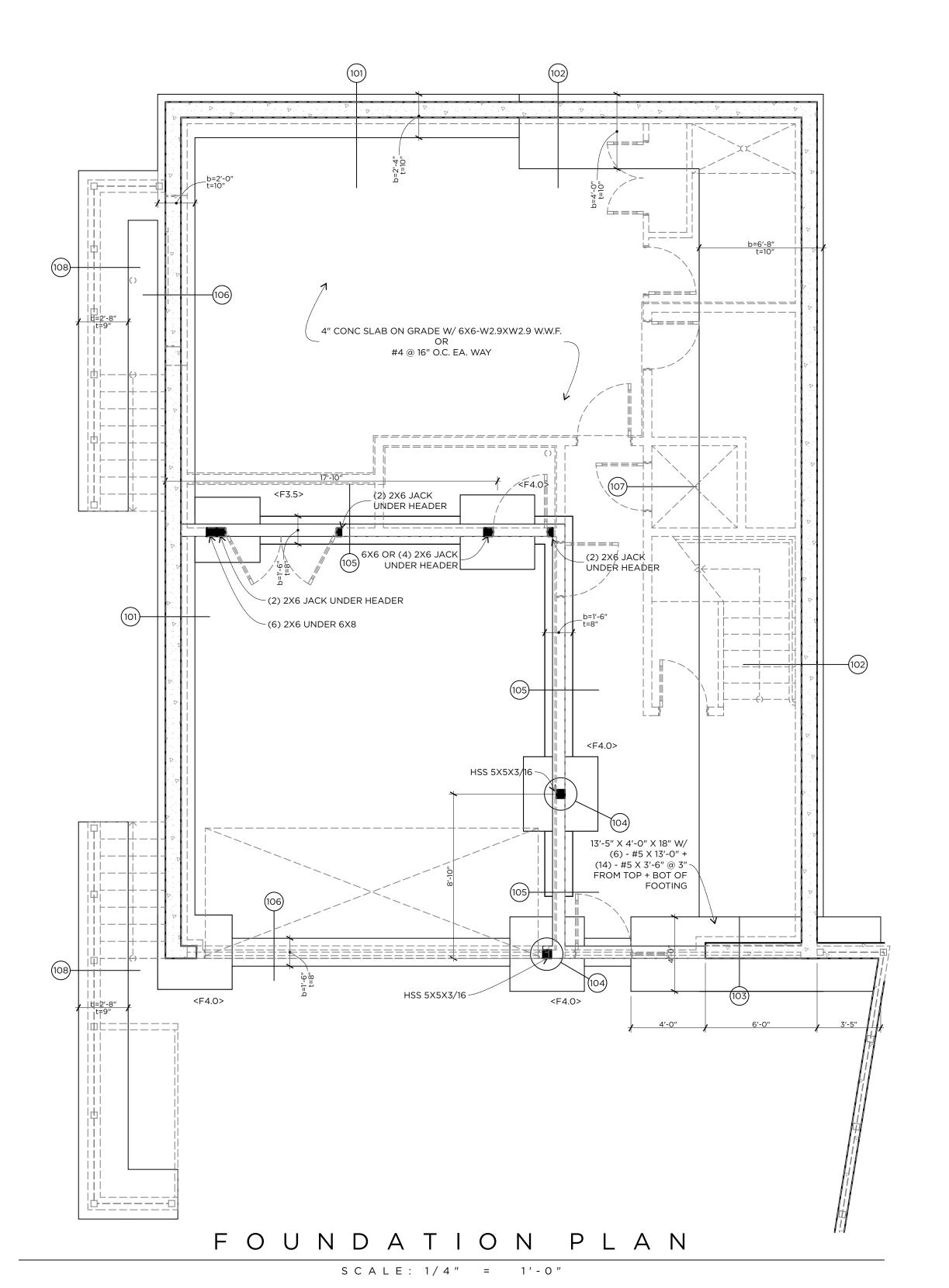
DATE:	June 22, 2 <i>0</i> 22	
SCALE:	SEE PLAN	
JOB NO.:	22-300	
DRAWN:	D. S.	
CHECK:	D. S.	

SECTIONS \$ DETAILS

SHE

S1.2

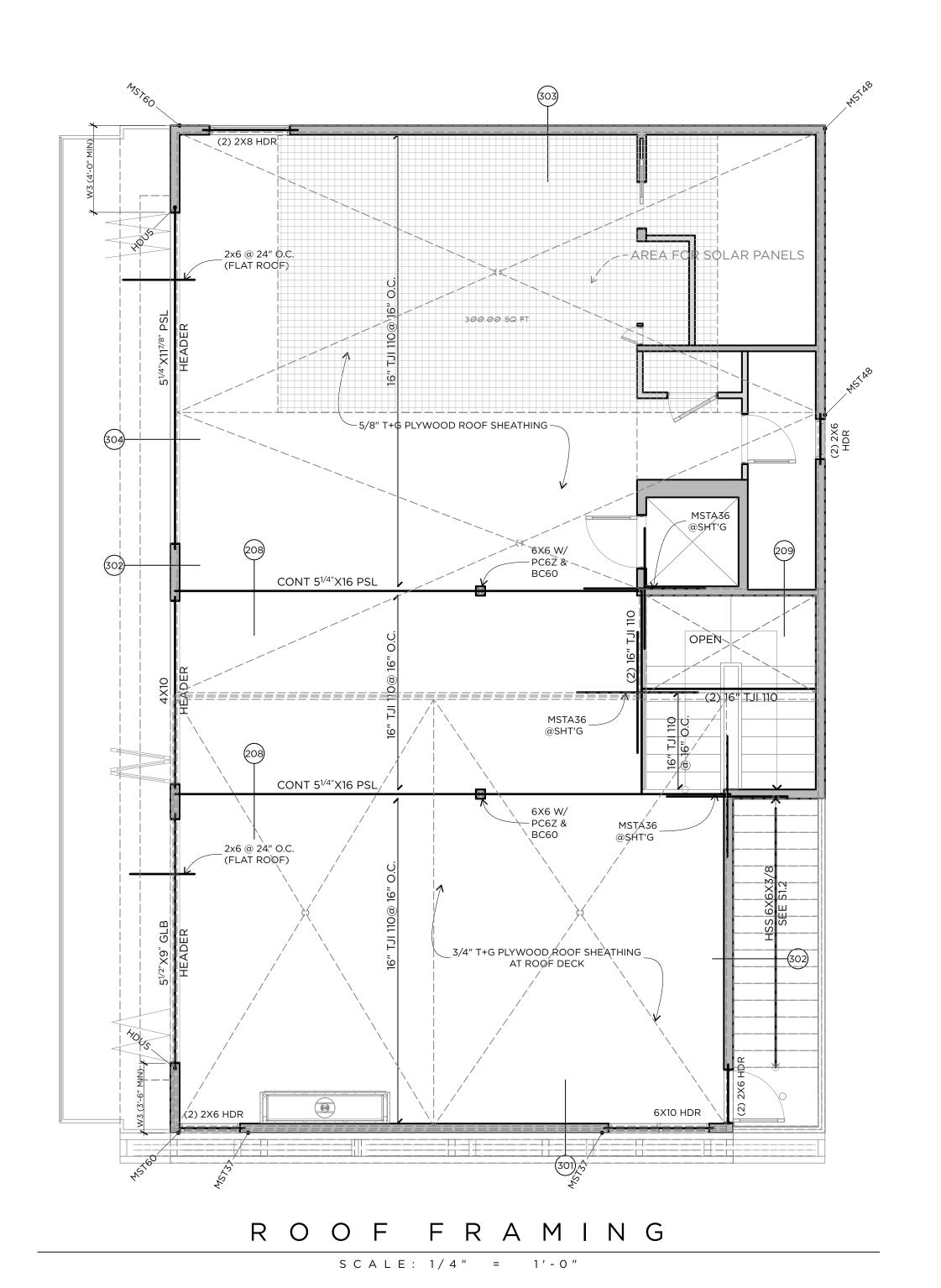


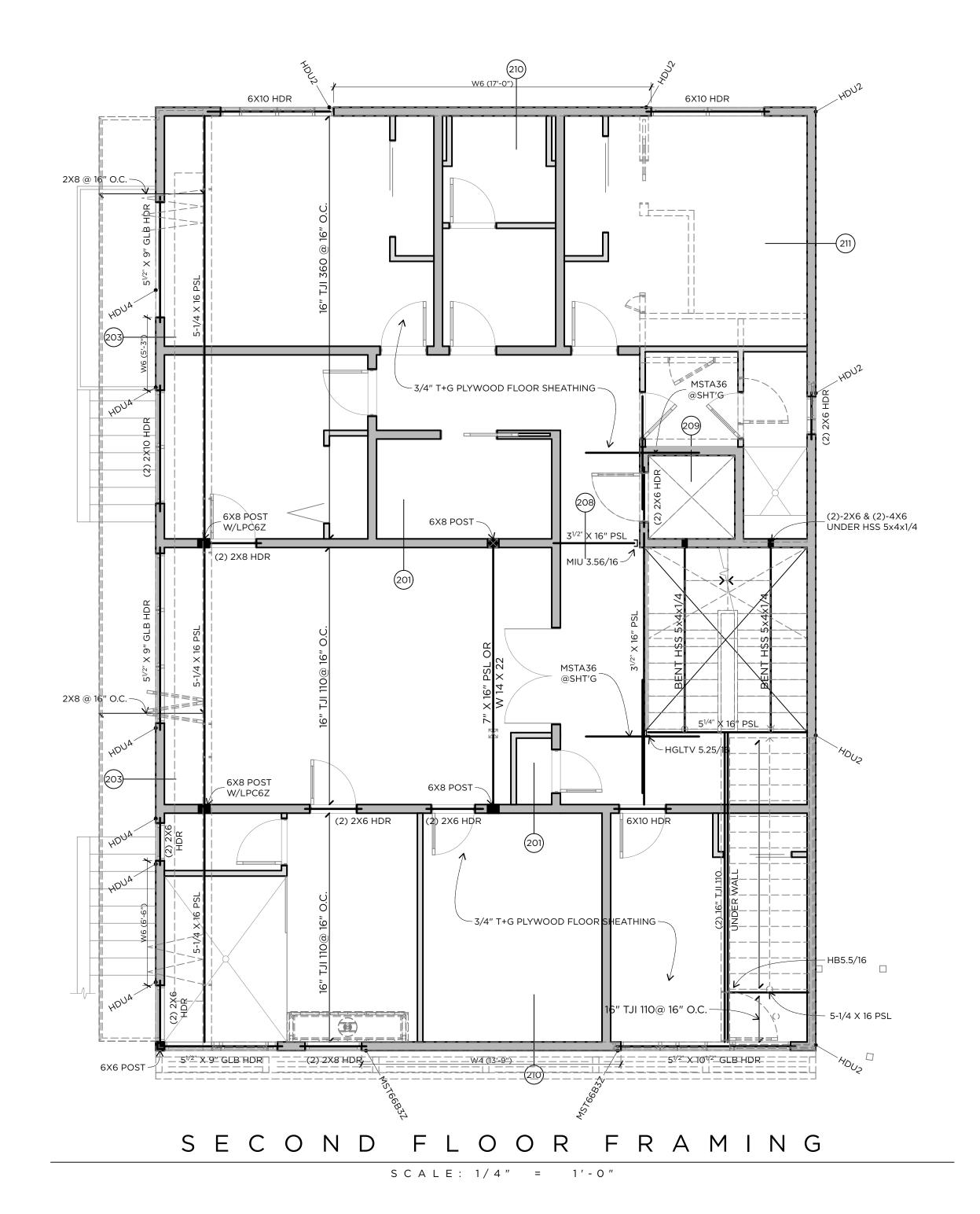


MERCER SERVE

FOUNDATION + FIRST FLOOR FRAMING PLANS

> R E L E A S E 10 MAY 2022 PERMIT CORRECTIONS 20 FEBRUARY 2023





MERCERISLAND, WA

SECOND FLOOR + ROOF FRAMING PLANS

R E L E A S E

10 MAY 2022

PERMIT CORRECTIONS
20 FEBRUARY 2023