

ABBREVIATIONS:

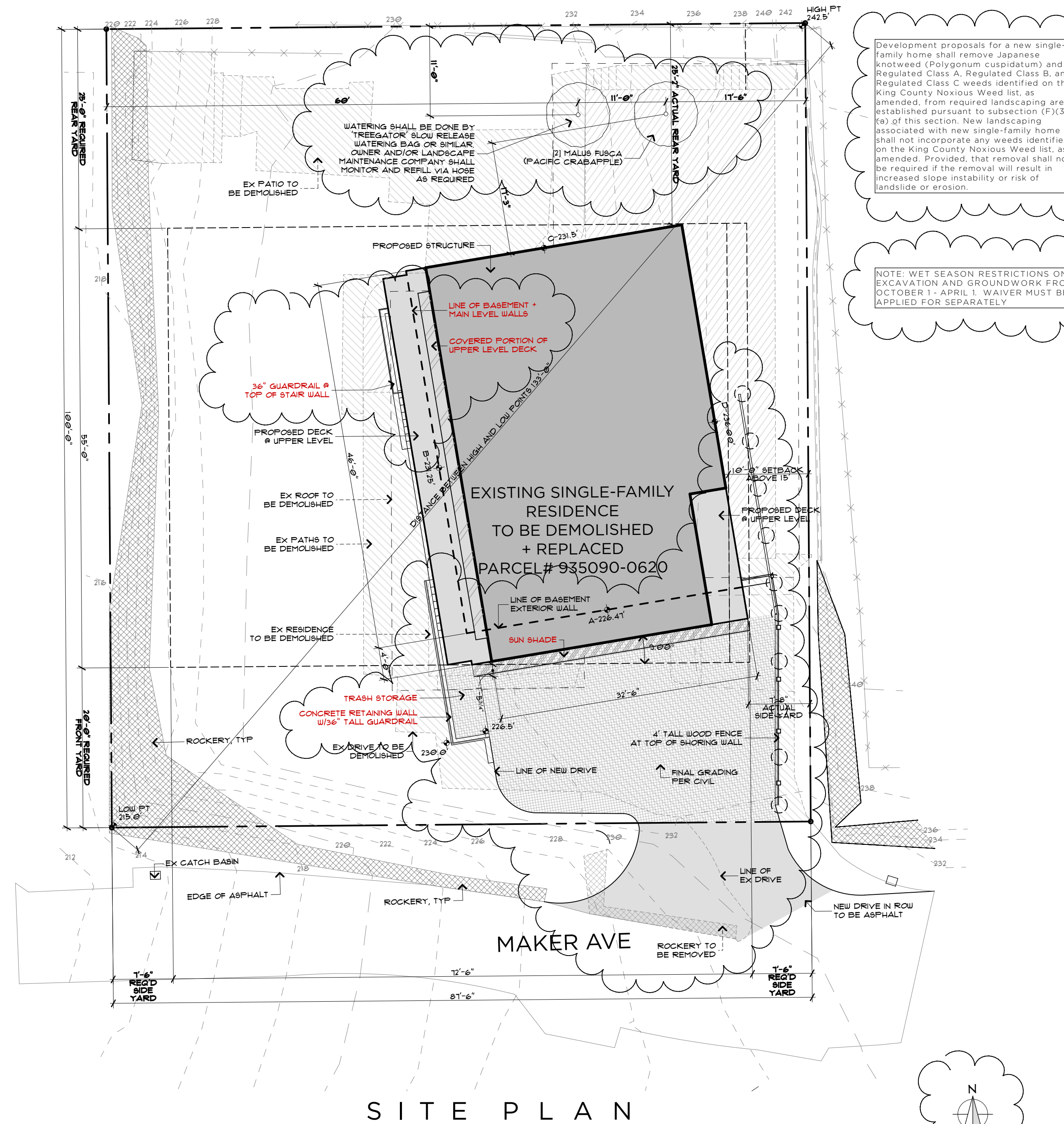
Table of abbreviations and their corresponding terms, such as AVB (Above), AFF (Above Finished Floor), BLW (Below), etc.

DUTY OF COOPERATION:

RELEASE + ACCEPTANCE OF THESE DOCUMENTS INDICATES COOPERATION AMONG THE OWNER, THE CONTRACTOR, + JEFFREY ALMETER. ANY ERRORS, OMISSIONS, OR DISCREPANCIES DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO JEFFREY ALMETER.

ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT THE CONSENT OF JEFFREY ALMETER IS UNAUTHORIZED. FAILURE TO OBSERVE THESE PROCEDURES SHALL RELIEVE JEFFREY ALMETER OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH ACTIONS.

MERCER RESIDENCE
6950 SE MAKER ST, MERCER ISLAND, WA 98040



LOT COVERAGE / IMPERVIOUS CALCS:

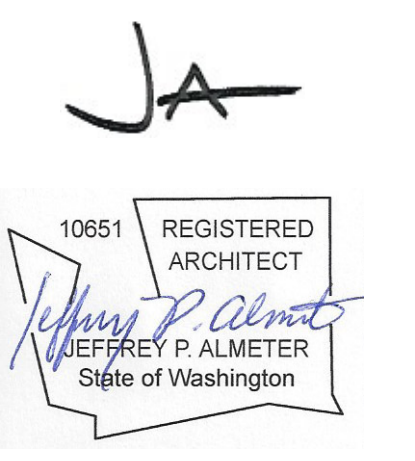
Table of lot coverage and impervious calculations, including lot area (8,750 FT²), maximum allowable impervious coverage (35%), and existing impervious surface (3,010 FT²).

HARDSCAPE CALCULATIONS:

Table of hardscape calculations, including lot area (8,750 FT²), maximum allowable hardscape area (9%), and proposed trash area (46 FT²).

PROJECT INFO:

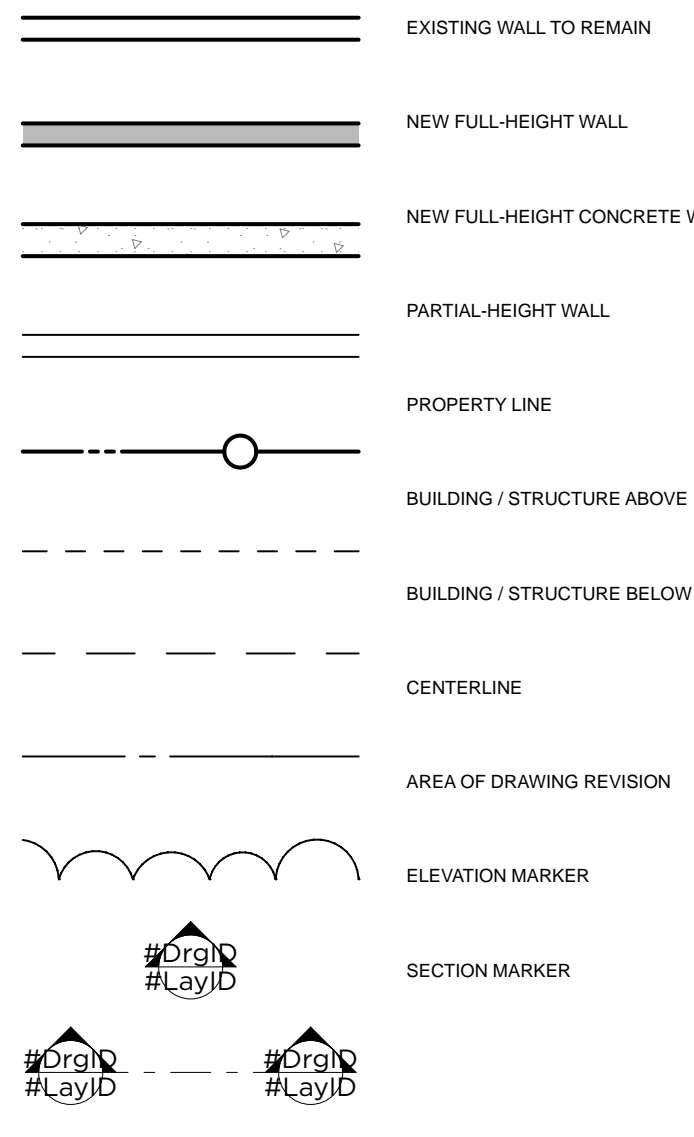
PROJECT ADDRESS: 6950 SE MAKER ST, MERCER ISLAND, WA 98040
SCOPE OF WORK: NEW SINGLE FAMILY RESIDENCE
ZONE: R-8.4
LEGAL DESCRIPTION: WHITE BROS 1ST TO EAST SEATTLE 46-47-48 W 1/2 OF 49. BLOCK 3, LOT 46 TO 49



VICINITY MAP:



PLAN LEGEND:

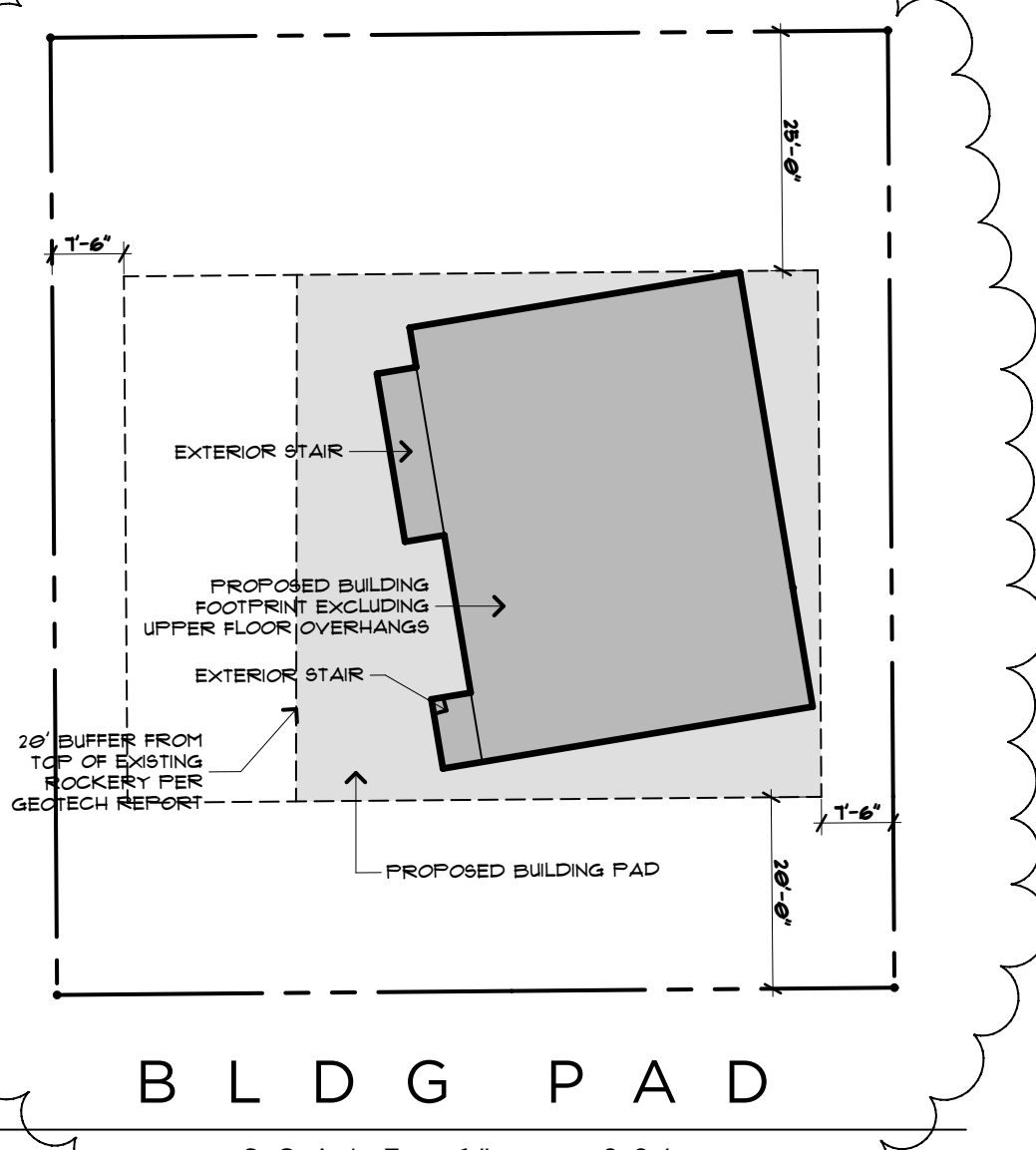


GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS.
2. THIS PROJECT SHALL COMPLY WITH ALL GOVERNING REGULATIONS, ORDINANCES, BUILDING CODES, OR COVENANTS OF THE AREA IN WHICH IT IS BUILT.
3. APPROVAL BY AN INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE DRAWINGS OR SPECIFICATIONS.

SITE PLAN

SCALE: 1" = 10'



BLDG PAD

SCALE: 1" = 20'

FLOOR AREAS:

Table of floor areas including lot area (8,750 FT²), maximum allowable GFA (40%), first floor GFA (1,669 FT²), second floor GFA (1,529 FT²), and total gross floor area (44.9%).

BASEMENT FLOOR EXCLUSION CALCS:

Table of basement floor exclusion calculations with columns for wall segment (A, B, C, D), length, coverage %, and result.

AVERAGE BUILDING ELEVATION CALCS:

Table of average building elevation calculations showing segment elevations and aggregate totals.

PROJECT TEAM:

CLIENT: MERCER RESIDENCE
ARCHITECT / APPLICANT: JEFFREY ALMETER
SURVEYOR: TERRANE
GEOTECHNICAL ENGINEER: GEOTECH CONSULTANTS + ADAM MOYER
CIVIL ENGINEER: GOLDSMITH ENGINEERING + MARK BARBER
STRUCTURAL ENGINEER: DS ENGINEERING - DON SHIN

SHEET INDEX:

Table of sheet index listing various drawing sheets such as PROJECT INFORMATION, ENERGY FORMS, SURVEY, SHORING PLAN AND SECTIONS, etc.

MERCER RESIDENCE
6950 SE MAKER ST
MERCER ISLAND, WA

PROJECT INFORMATION

RELEASE
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023

A1.0

LEGAL DESCRIPTION

(PER PERSONAL REPRESENTATIVE DEED RECORDING# 20210415002461)

LOTS 46, 47, 48 AND THE WEST ONE-HALF OF LOT 49 IN BLOCK 3 OF WHITE BROTHERS FIRST ADDITION TO EAST SEATTLE, AS PER PLAT RECORDED IN VOLUME 4 OF PLATS, PAGE 100, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD N 88°48'41" W BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF SE 32ND ST PER GPS OBSERVATIONS, NAD83/2011 WASHINGTON STATE PLANE, NORTH ZONE.

REFERENCES

- R1. RECORD OF SURVEY, VOL. 133, PG. 28.
- R2. RECORD OF SURVEY, VOL. 7, PG. 171.
- R3. PLAT OF WHITE & NOBLES FIRST ADD., REC. NO. 1889050232489, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 9350900620.
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 8,750± S.F. (0.20 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT, EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

| | | | |
|--|---------------------------|--|------------------|
| | AREA DRAIN | | NAIL AS NOTED |
| | ASPHALT SURFACE | | PAVER SURFACE |
| | BUILDING | | POWER METER |
| | CENTERLINE ROW | | POWER (OVERHEAD) |
| | COLUMN | | ROCKERY |
| | CONCRETE SURFACE | | SEWER LINE |
| | RETAINING WALL | | SEWER MANHOLE |
| | DECK | | STORM DRAIN LINE |
| | FENCE LINE (WOOD) | | SEWER CLEANOUT |
| | GAS METER | | TREE (AS NOTED) |
| | INLET (TYPE 1) | | WATER LINE |
| | MONUMENT IN CASE (FOUND) | | WATER METER |
| | MONUMENT (SURFACE, FOUND) | | WATER VALVE |

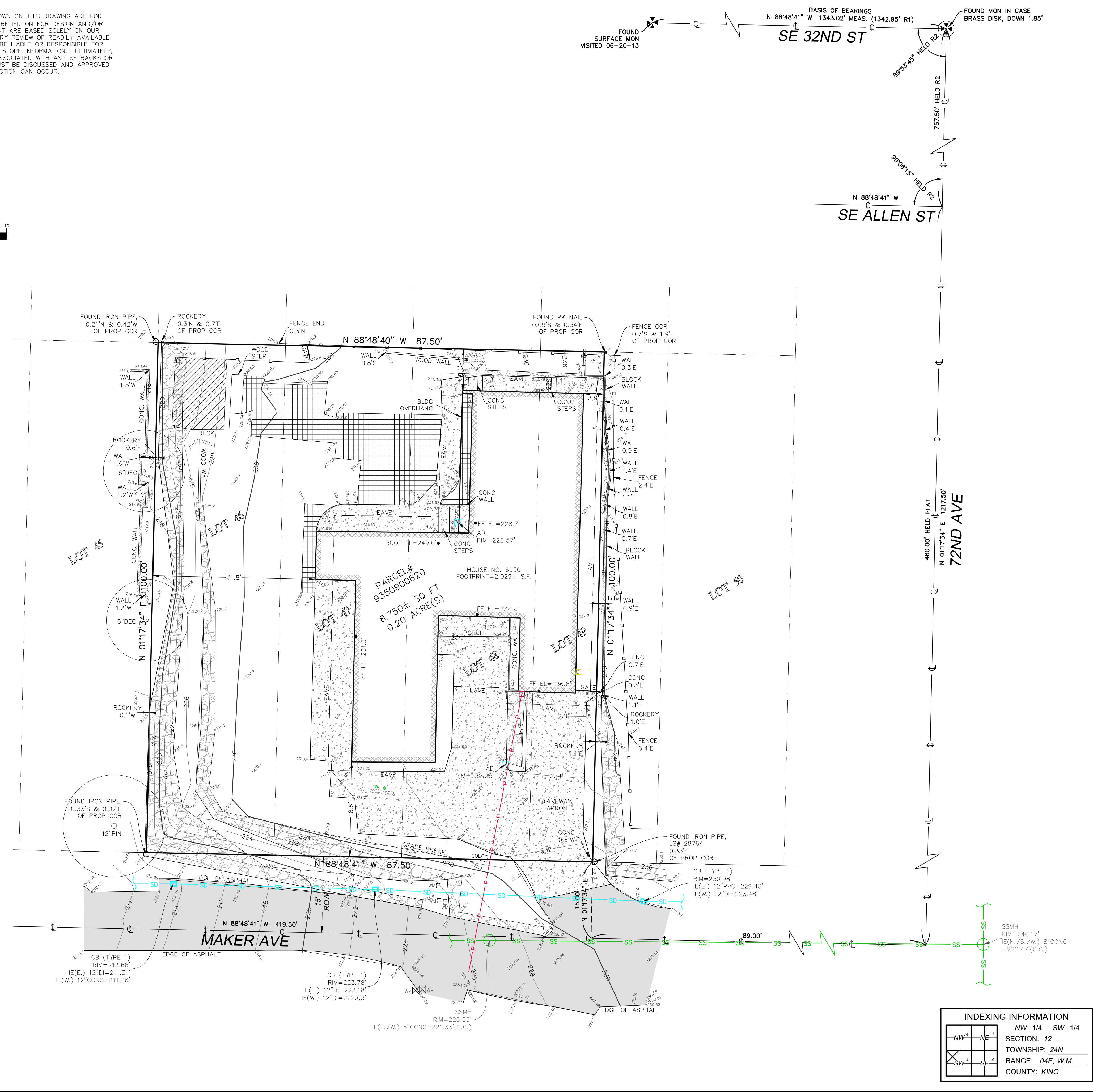
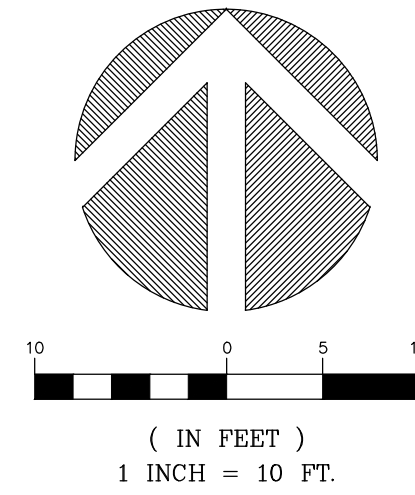
VICINITY MAP
N.T.S.



TOPOGRAPHIC & BOUNDARY SURVEY

STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



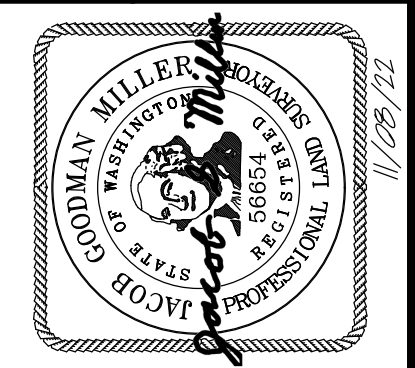
INDEXING INFORMATION

| | | | |
|-----------|-----------|----|-----|
| NW | 1/4 | SW | 1/4 |
| SECTION: | 12 | | |
| TOWNSHIP: | 24N | | |
| RANGE: | 04E, W.M. | | |
| COUNTY: | KING | | |

measure success

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 9350900620

STRAND RESIDENCE
6950 SE MAKER STREET
MERCER ISLAND, WA 98040



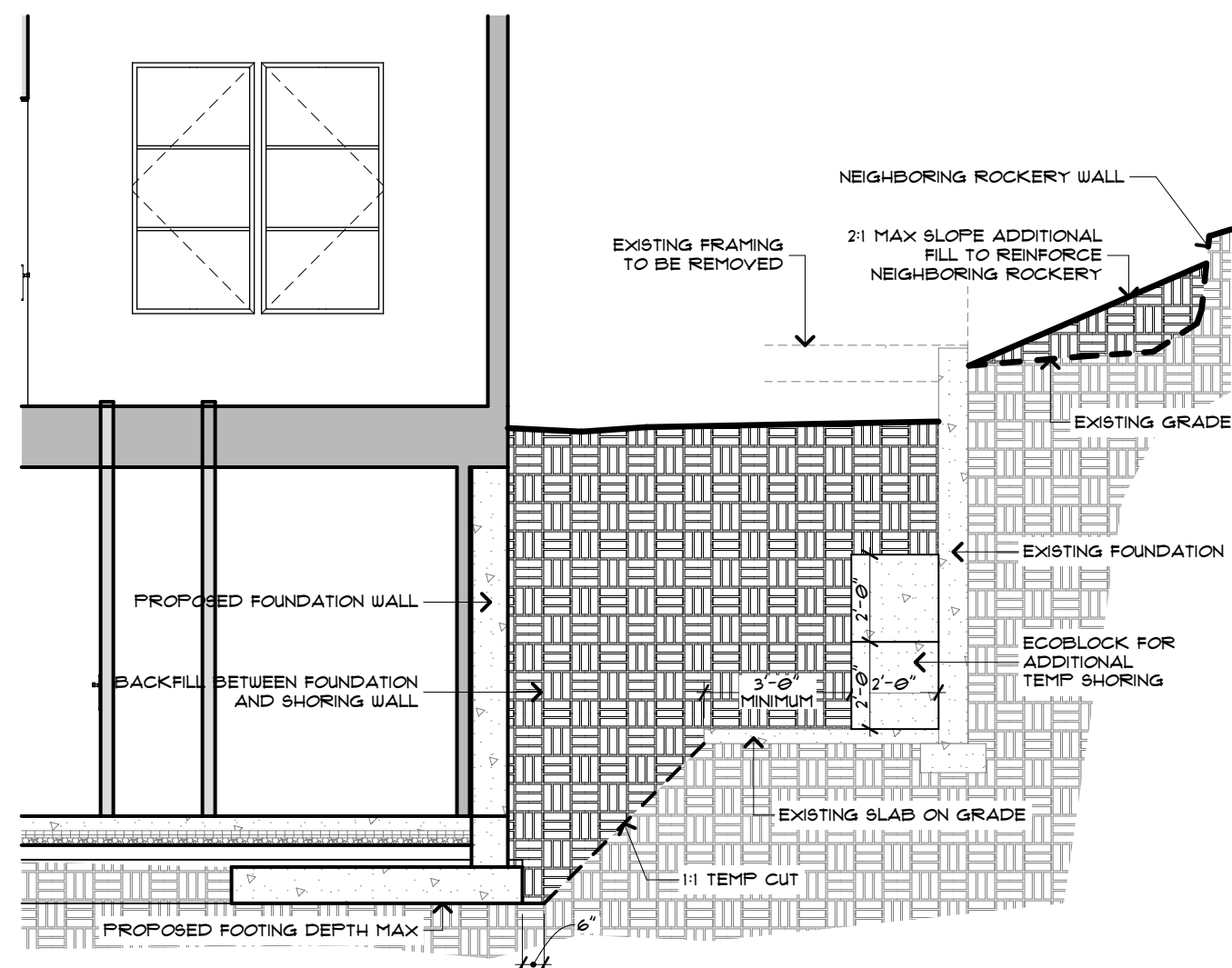
Terrane
10801 Main Street, Suite 102, Bellevue, WA 98004
phone 425.458.4488 support@terrane.net
www.terrane.net

JOB NUMBER: 210007
DATE: 05/27/2021
DRAFTED BY: RSN
CHECKED BY: TBR / JGM
SCALE: 1" = 10'

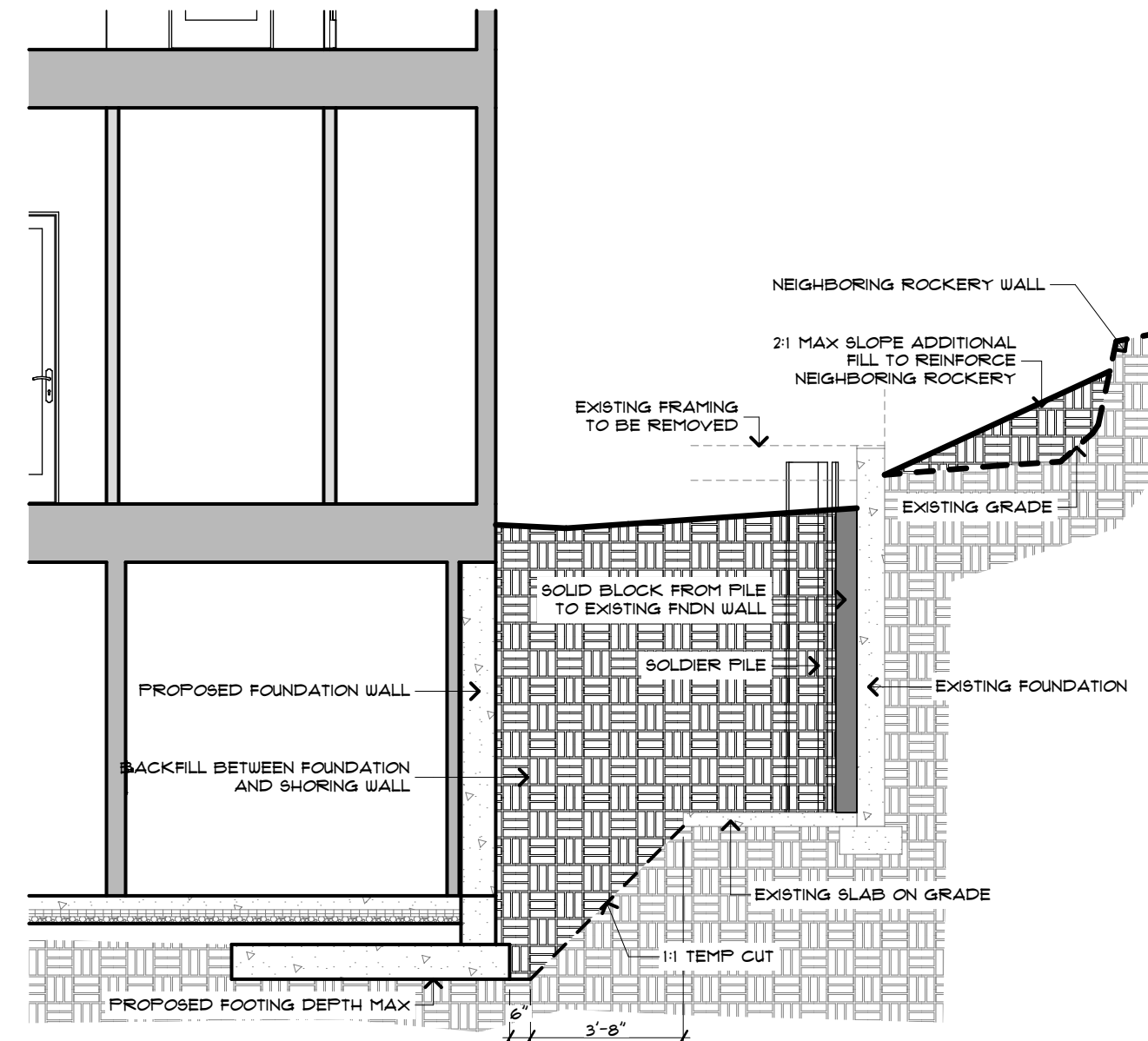
REVISION HISTORY

| DATE | DESCRIPTION |
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| 11/8/22 | ADD CATCH BASIN |

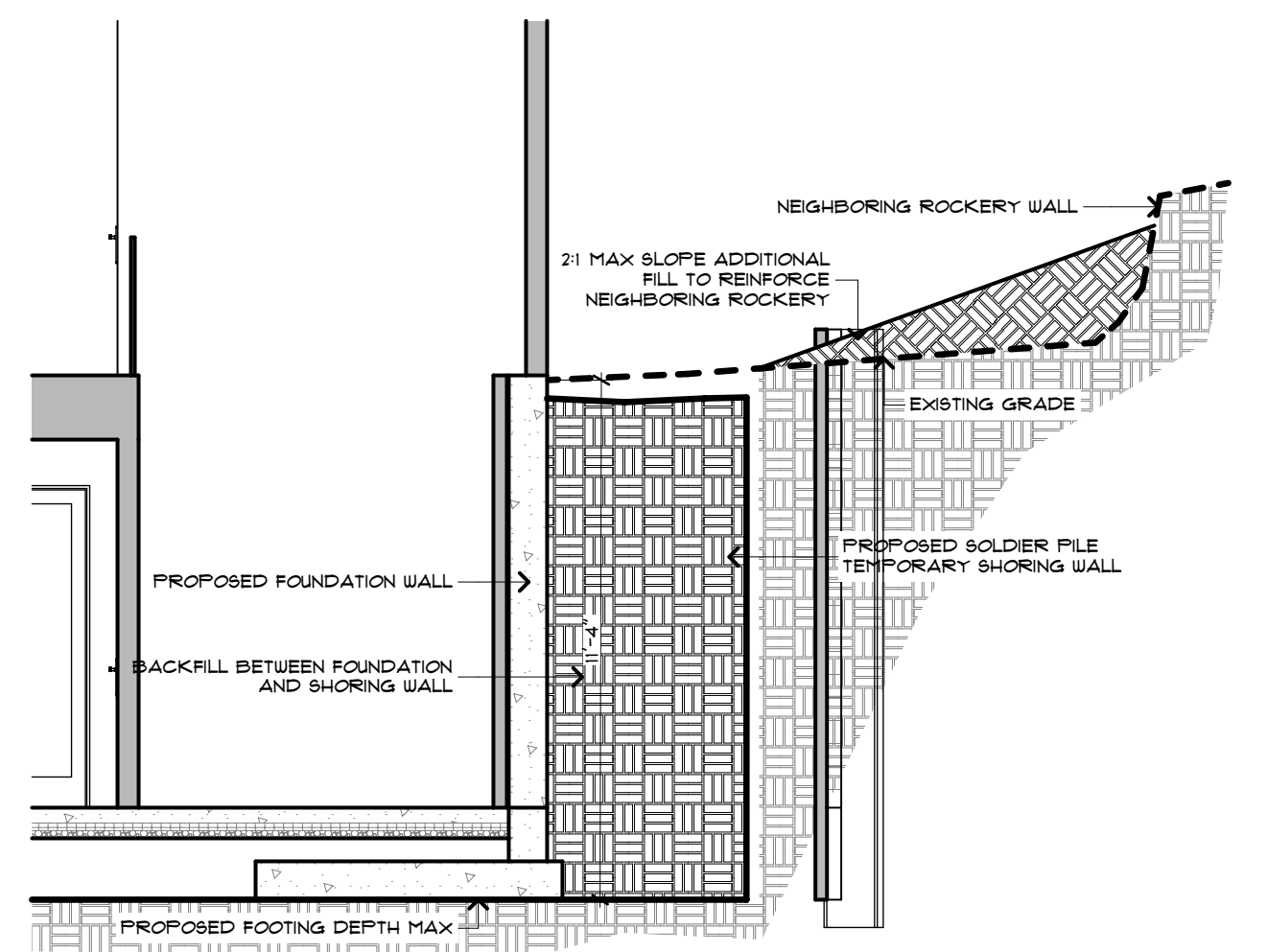
SHEET NUMBER
1 OF 1



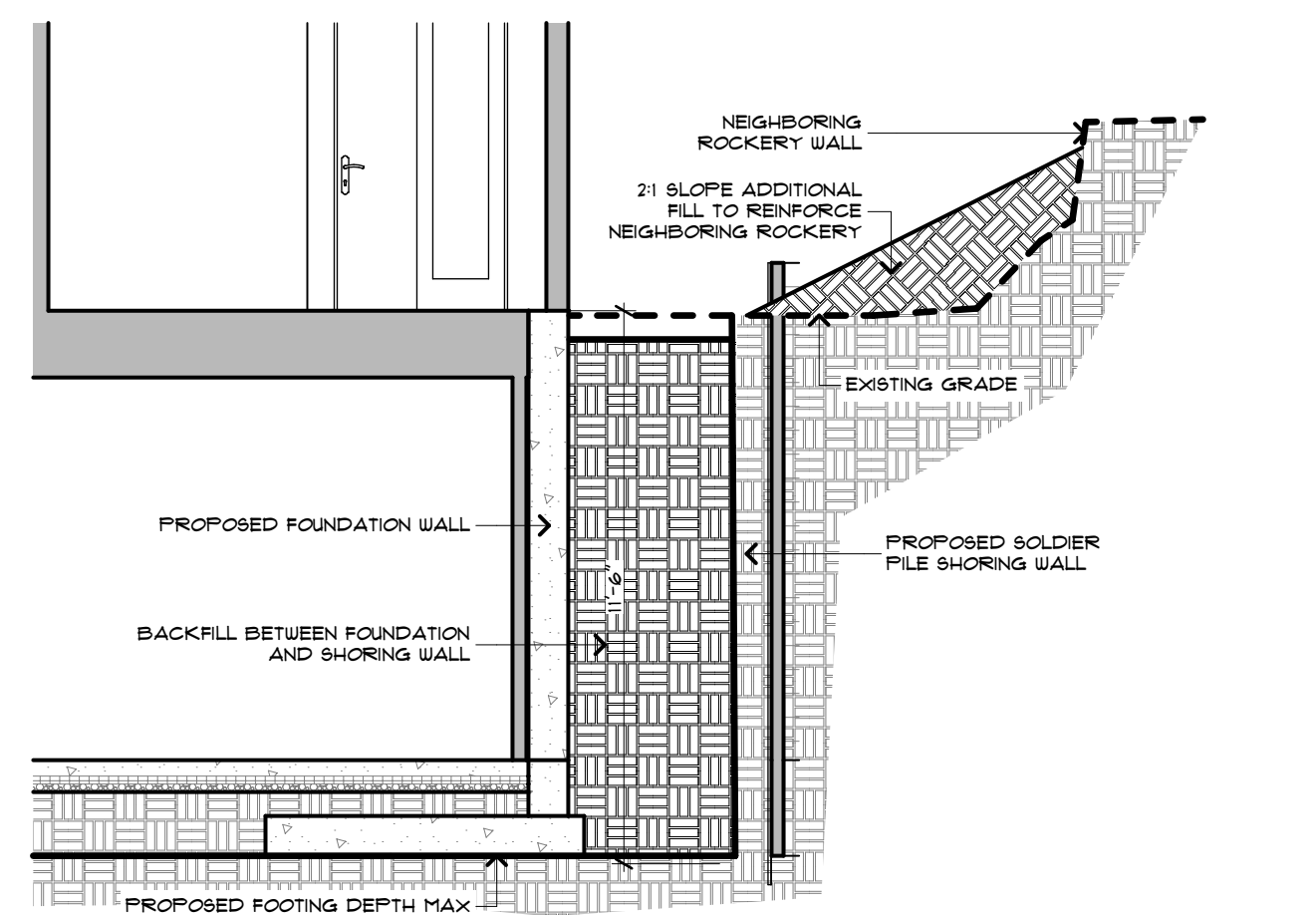
SECTION SH4 4
 SCALE: 1/4" = 1'-0"



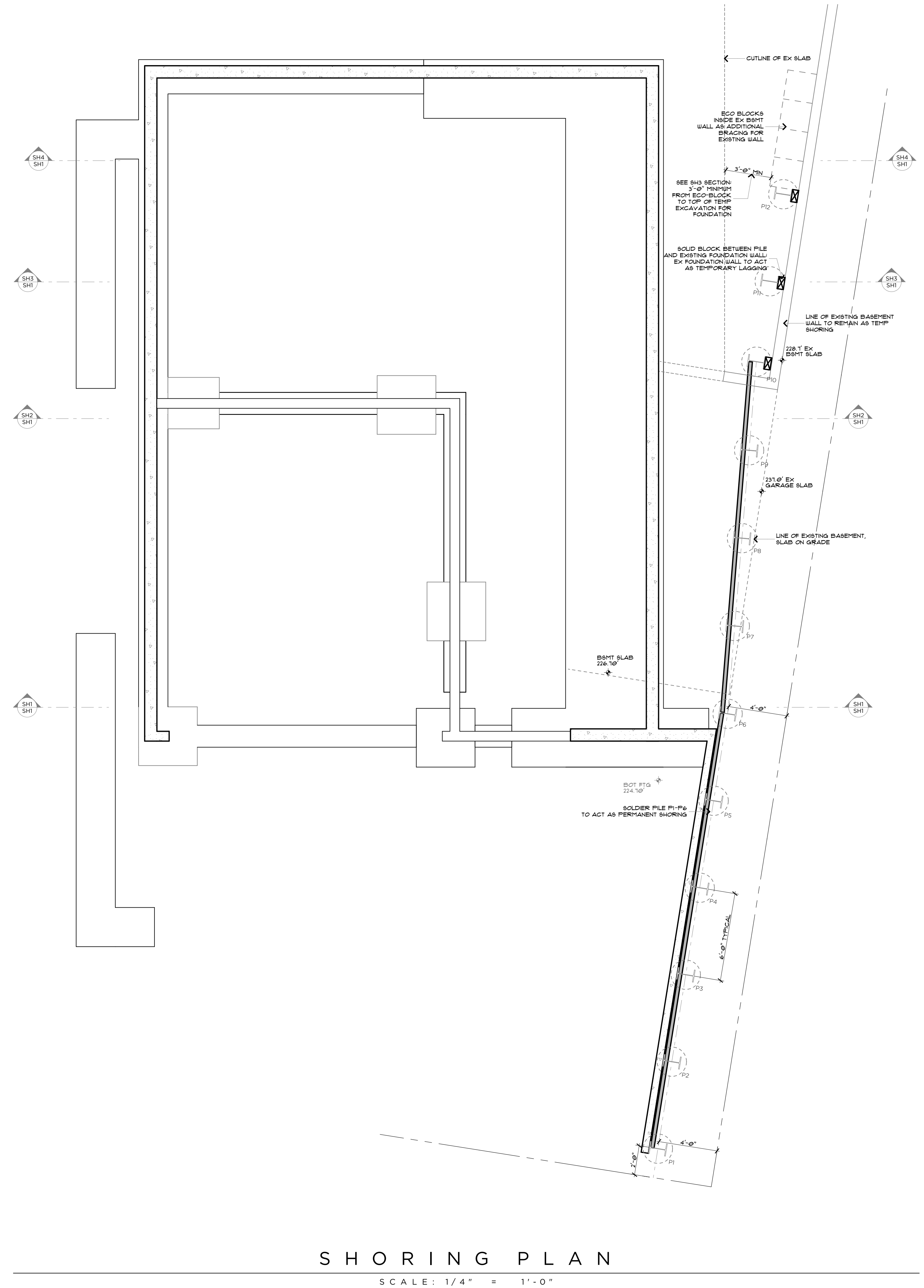
SECTION SH3 3
 SCALE: 1/4" = 1'-0"



SECTION SH2 2
 SCALE: 1/4" = 1'-0"



SECTION SH1 1
 SCALE: 1/4" = 1'-0"



SHORING PLAN
 SCALE: 1/4" = 1'-0"

MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

SHORING PLANS
 AND SECTIONS

RELEASE
 17 FEB 2023
 PERMIT CORRECTIONS
 20 FEBRUARY 2023

General Structural Notes

The Following Apply Unless Noted Otherwise on the Drawings

Criteria

- CODE REQUIREMENTS: ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- REFERENCE DOCUMENTS:
 - TOPOGRAPHIC AND BOUNDARY SURVEY BY Terrane DATED May 27, 2021
 - REPORT ON GEOTECHNICAL INVESTIGATION BY Geotech Consultants, INC, DATED MARCH 21 2022, (Proj #JN-22007)
- DESIGN LOADS: THE SOIL PRESSURE INDICATED ON THE SOIL PRESSURE DIAGRAMS WHERE USED FOR DESIGN.
- SOILS INSPECTION: INSPECTION BY THE SOILS ENGINEER SHALL BE PERFORMED FOR PILE PLACEMENT. ALL PREPARED SOIL BEARING SURFACES SHALL BE INSPECTED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF PILE. SOIL COMPACTION SHALL BE SUPERVISED/TESTED BY THE GEOTECHNICAL ENGINEER.
- SPECIAL INSPECTION: SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 110 AND 1701 OF THE INTERNATIONAL BUILDING CODE AND THE PROJECT SPECIFICATIONS BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS.

-STRUCTURAL STEEL FABRICATION AND ERECTION (INCLUDING FIELD WELDING AND HIGH-STRENGTH FIELD BOLTING)

- UTILITY LOCATION: THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO DRILLING PILE HOLES OR CUTTING OR DIGGING IN STREETS OR ALLEYS. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT COMPLETE.
- SPECIAL CONDITIONS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING STRUCTURES IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.
- SOILS: SEE REPORT OF GEOTECHNICAL INVESTIGATION FOR MORE COMPLETE INFORMATION, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.
- SAWN LUMBER: SAWN LUMBER SHALL CONFORM TO "GRADING AND DRESSING RULES," WEST COAST LUMBER INSPECTION BUREAU (WCLIB), LATEST EDITION. LUMBER SHALL BE THE SPECIES AND GRADE NOTED IN THE LAGGING TABLE.

TIMBER LAGGING SHALL BE PRESSURE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH AWPB STANDARD U1 AND SHALL MEET A USE CATEGORY OF UC4B OR BETTER. LAGGING SHALL BE 4X10 UNLESS OTHERWISE NOTED ON DRAWINGS.

- STEEL SPECIFICATIONS: DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING SPECIFICATIONS:
 - STRUCTURAL STEEL: AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS—ALLOWABLE STRESS DESIGN.
 - WELDING: AWS D1.1 (AWS PREQUALIFIED JOINT DETAILS USE 1/4" MINIMUM WELDS UNLESS NOTED OTHERWISE).
 - WELDER CERTIFICATION: WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO).vv

- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

| TYPE OF MEMBER | ASTM SPECIFICATION | Fy |
|----------------------------------|--------------------|--------|
| WIDE FLANGE | A992 | 50 KSI |
| PIPE | A53 | 35 KSI |
| PLATES, SHAPES, ANGLES, AND RODS | A36 | 36 KSI |
| STRUCTURAL BOLTS | A325-N | |
| WOOD CONNECTION BOLTS | A307 | |
| WELDING ELECTRODES | E70XX | |

Concrete

- CONCRETE: CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF CHAPTER 19 OF THE 2018 IBC. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD CYLINDER TESTS, UNLESS APPROVED OTHERWISE. REQUIRED ULTIMATE COMPRESSIVE STRENGTH OF STRUCTURAL GROUT SHALL BE REACHED BY 7 DAYS FOR TIEBACKS AND 28 DAYS FOR PILES.

| f _c (psi) | Minimum Cement Per Cubic Yard | Max. Water Per 94 LB Cement | Use |
|-------------------------|----------------------------------|--------------------------------|--------------------|
| ----- | 1-1/2 Sacks | ----- | Pile lean concrete |
| 3,000 | 6 Sacks (PILING) | 6 Gallons | Pile struct. grout |

CONCRETE WALL SHALL ATTAIN A 28-DAY STRENGTH OF f_c=3,000 PSI

AS AN ALTERNATIVE TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE ALTERNATE MIX DESIGN WILL BE REVIEWED FOR CONFORMANCE TO ACI 318 Ch. 5 WITH SBC REVISIONS.

- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE ACI 318 TABLE 4.2.1 MODERATE EXPOSURE.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, f_y=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, f_y=40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, f_y=60,000 PSI.

Pipe and Lagging Construction

- DEMOLITION: SHORING AND SOIL EXCAVATION SHALL BE DONE SIMULTANEOUSLY.
- VERIFICATION: DIMENSIONS AND LOCATION OF EXISTING STRUCTURES SHALL BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF ANY STRUCTURAL MEMBER. NOTIFY ENGINEER ABOUT ANY DISCREPANCIES PRIOR TO FABRICATION.
- STEEL PILE PLACEMENT TOLERANCES:
 - 1" INSIDE PERPENDICULAR TO SHORING WALL.
 - 1" OUTSIDE PERPENDICULAR TO SHORING WALL.
 - 3" LATERALLY.
- LAGGING: TIMBER LAGGING SHALL BE INSTALLED IN ALL AREAS. VOIDS BETWEEN LAGGING AND SOIL SHALL BE BACKFILLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. MAXIMUM HEIGHT OF 4 FEET IS RECOMMENDED. SPECIAL CARE SHOULD BE TAKEN TO AVOID GROUND LOSS DURING EXCAVATION.
- SHORING MONITORING: A SYSTEMATIC PROGRAM OF OBSERVATION SHALL BE CONDUCTED DURING THE PROJECT EXECUTION TO DETERMINE THE EFFECT OF CONSTRUCTION ON ADJACENT FACILITIES AND STRUCTURES IN ORDER TO PROTECT THEM FROM DAMAGE. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDATIONS. FIELD DATA AND MEASUREMENTS ARE TO BE SUBMITTED TO STRUCTURAL AND GEOTECHNICAL ENGINEER FOR REVIEW.

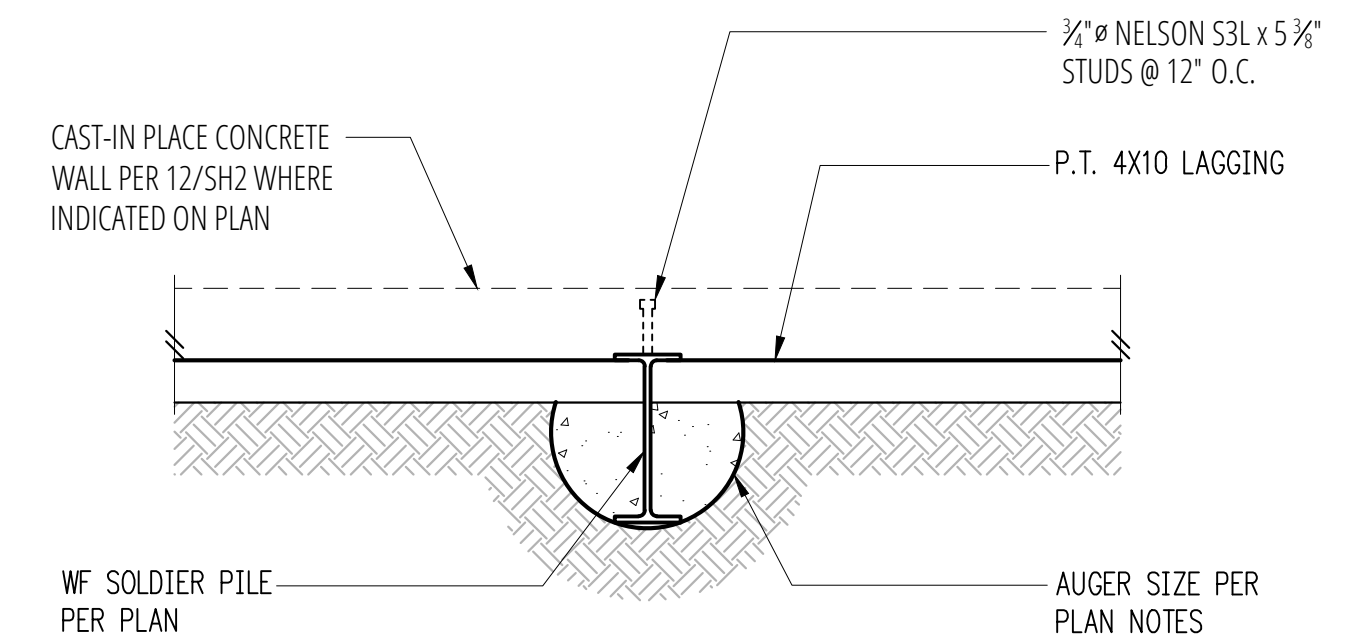
MONITORING PLAN SHALL INCLUDE THE FOLLOWING:

- THE TOP OF EVERY OTHER PILE SHALL BE MONITORED.
- MULTIPLE REFERENCE POINTS SHOULD BE ESTABLISHED SUFFICIENTLY FAR AWAY FROM THE SHORING TO ACT AS CONTROL POINTS FOR THE MONITORING PLAN
- ESTABLISH A BASELINE READING OF MONITORING POINTS ON THE GROUND SURFACE AND SETTLEMENT-SENSITIVE STRUCTURES BEHIND THE SHORING WALL ALIGNMENT PRIOR TO EXCAVATION AND INSTALLATION OF THE SHORING SYSTEMS.
- A LICENSED SURVEYOR MUST DO THE SURVEYING AT LEAST ONCE A WEEK.
- SURVEY FREQUENCY CAN BE DECREASED AFTER THE SHORING SYSTEM HAS BEEN INSTALLED AND EXCAVATION IS COMPLETE IF THE DATA INDICATES LITTLE OR NO ADDITIONAL MOVEMENT. SURVEYING MUST CONTINUE UNTIL THE PERMANENT STRUCTURE IS COMPLETE UP TO THE TOP OF THE SHORING WALL. THE SURVEY FREQUENCY WILL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AFTER REVIEW AND APPROVAL BY DPD AND SDOT.
- THE GEOTECHNICAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AN EVALUATION OF WALL PERFORMANCE ALONG WITH SURVEY DATA TO DPD AND SDOT ON AT LEAST A WEEKLY BASIS. IMMEDIATELY AND DIRECTLY, NOTIFY DPD AND SDOT IF ANY UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENT OCCURS.
- IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS, IF 0.5 INCHES OF MOVEMENT OCCURS BETWEEN TWO CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENTS REACH 0.5 INCH. AT THAT AMOUNT OF MOVEMENT, THE ENGINEERS AND DESIGNERS SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOVEMENTS TO WHAT HAS BEEN DEFINED AS ACCEPTABLE BY THE DESIGN TEAM.

3 SCALE: 3/4"=1'-0"

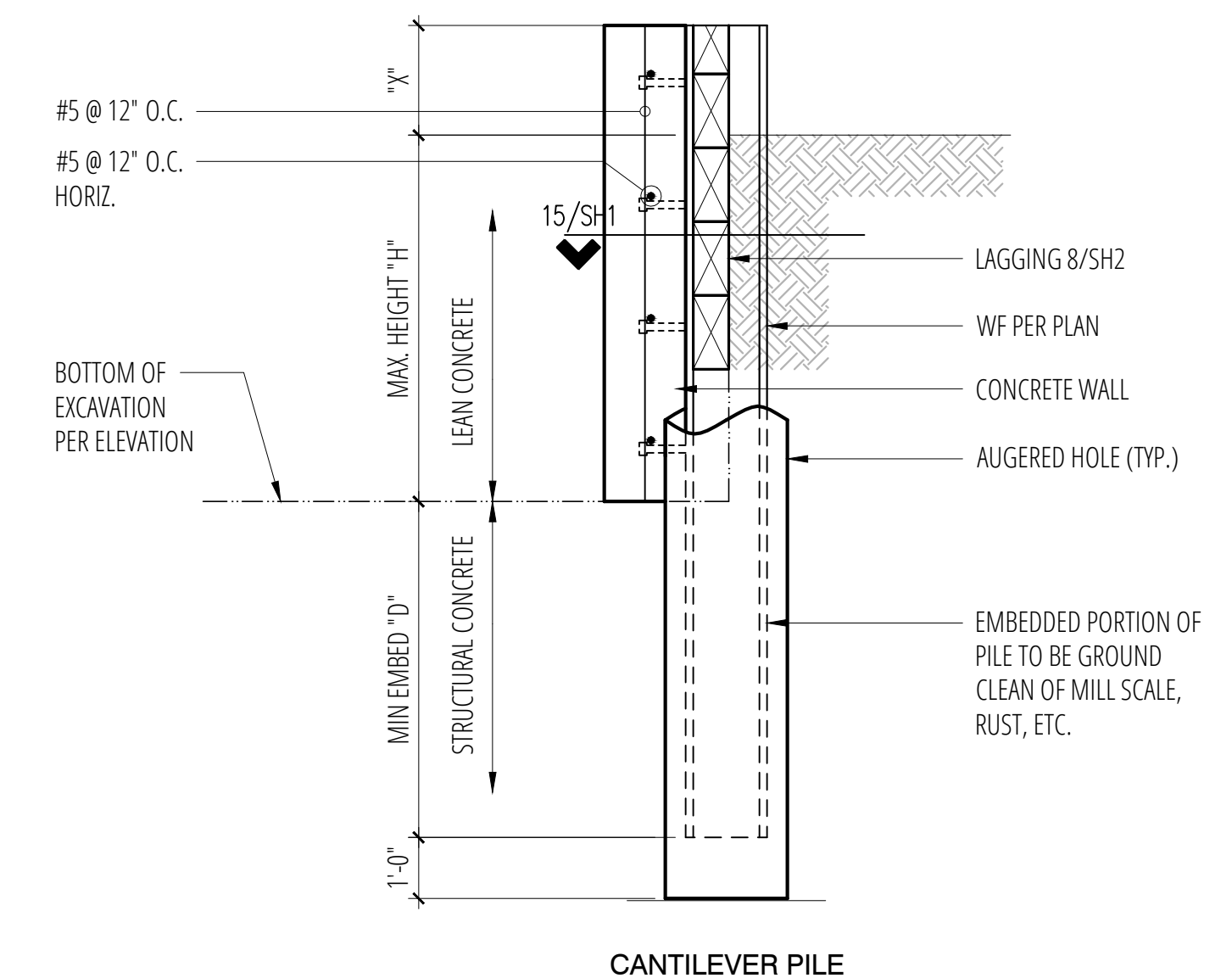
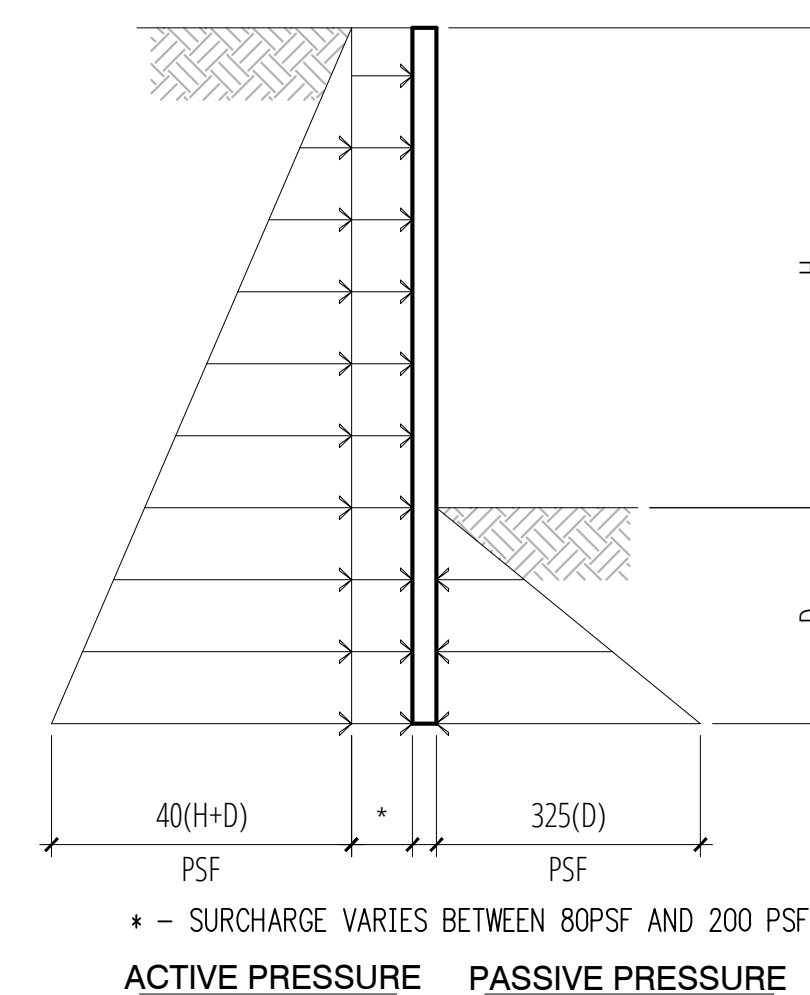
4 SCALE: 3/4"=1'-0"

| Pile Mark | Auger Dia. | Wide Flange | Max. Height H (ft.) | Min Embed D (ft.) | Min. X (ft.) Above Top of Excavation | Type |
|-----------|------------|-------------|---------------------|-------------------|--------------------------------------|------------|
| P1 | 24" | W16x100 | 11'-6" | 20'-0" | 1'-0" | Cantilever |
| P2 | 24" | W16x100 | 11'-6" | 20'-0" | 1'-0" | Cantilever |
| P3 | 24" | W16x100 | 11'-6" | 20'-0" | 1'-0" | Cantilever |
| P4 | 24" | W16x100 | 11'-6" | 20'-0" | 1'-0" | Cantilever |
| P5 | 24" | W16x100 | 11'-6" | 20'-0" | 1'-0" | Cantilever |
| P6 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P7 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P8 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P9 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P10 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P11 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |
| P12 | 24" | W14x68 | 11'-6" | 15'-0" | 1'-0" | Cantilever |



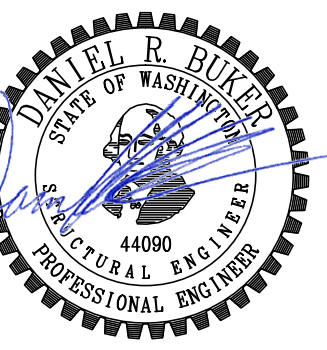
7 Pile Loading Diagram
SCALE: 3/4"=1'-0"

8 Typical Pile Plan
SCALE: 3/4"=1'-0"



11 Pile Loading Diagram
SCALE: 3/4"=1'-0"

12 Cantilever Pile
SCALE: 3/4"=1'-0"

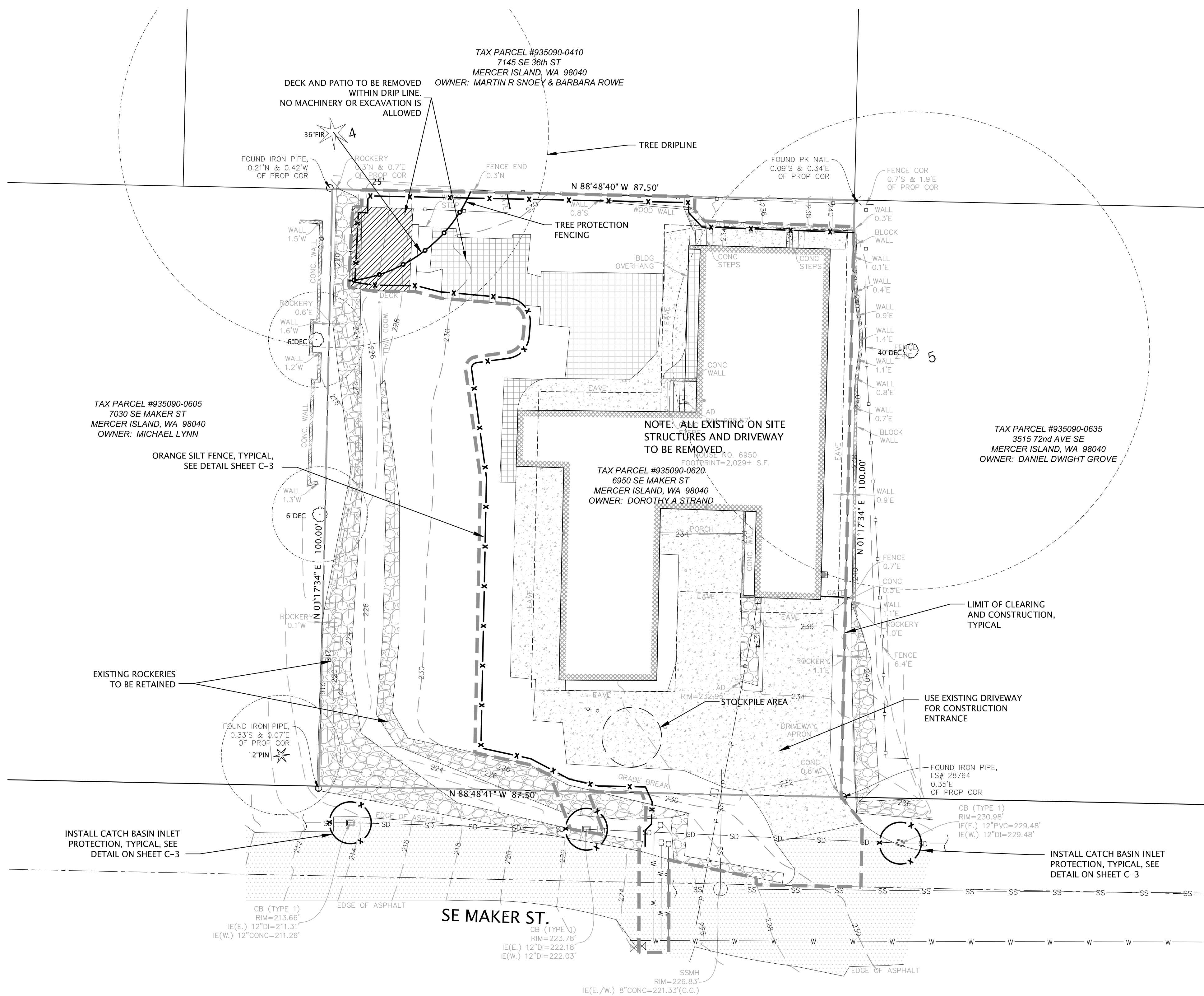


| No. | Date | Issue |
|---------|------|--------|
| 1/30/23 | | Permit |

| Sheet Contents |
|-------------------------|
| SHORING NOTES & DETAILS |

Sheet No.

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



LEGEND

- AREA DRAIN
- ASPHALT SURFACE
- BUILDING
- CENTERLINE ROW
- COLUMN
- CONCRETE SURFACE
- RETAINING WALL
- DECK
- FENCE LINE (WOOD)
- GAS METER
- INLET (TYPE 1)
- MONUMENT IN CASE (FOUND)
- MONUMENT (SURFACE, FOUND)
- NAIL AS NOTED
- PAVER SURFACE
- POWER METER
- POWER (OVERHEAD)
- ROCKERY
- SEWER LINE
- SEWER MANHOLE
- STORM DRAIN LINE
- SEWER CLEANOUT
- TREE (AS NOTED)
- WATER LINE
- WATER METER
- WATER VALVE

LEGEND (EROSION)

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED SILT FENCE
- PROPOSED LIMIT OF CONSTRUCTION
- PROPOSED CATCH BASIN INSERT
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION

SURVEY NOTE

EXISTING SURVEY INFORMATION SHOWN HEREON IS BASED ON SURVEY BY TERRANE SURVEYING & MAPPING, AND ELECTRONIC DRAWING FILES AS PROVIDED ON 03/25/2022. SURVEY INFORMATION HAS NOT BEEN FIELD VERIFIED BY GOLDSMITH.

GOLDSMITH
LAND DEVELOPMENT SERVICES
11400 SE 8th St, Suite 450, Bellevue, WA 98004 | PO Box 3565, Bellevue, WA 98009
T 425-462-1080 www.goldsmithengineering.com

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| PLOTTED: | 2023/02/07 10:32 | Eoregon |
| DRAWN: | | |
| DESIGNED: | | |
| APPROVED: | | |
| FIELD BOOK: | | |
| PAGE #: | | |

Digitally signed by Mark Barber
Date: 2023.02.07 10:51:28-08'00'

KEITH J. GOLDSMITH
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
24597

MARK A. BARBER
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
36000

DOROTHY STRAND
TESC PLAN FOR STRAND PROPERTY
6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON

JOB NO. 22038
SHEET
C-1

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON

**STORM & ROOF DRAINAGE SYSTEM
STRUCTURE TABLE**

| NAME | TYPE | VERTICAL | I.E. IN / OUT |
|--------------|--|--------------|--|
| CB # 1 | TYPE 1, EXISTING | RIM = 213.66 | 12" SD D.I. IN (E) = 211.31 12" CONC. D.I. OUT (W) = 211.26 |
| CB # 2 | TYPE 1, EXISTING TIE INTO | RIM = 223.78 | 12" EX. SD D.I. IN (E) = 222.18 6" SD PVC IN (N) = 222.03 12" SD D.I. OUT (W) = 222.03 |
| CB # 3 | TYPE 1, W/ OIL & WATER SEPARATOR | RIM = 230.39 | 4" RD PVC IN (N) = 225.81 6" TRENCH RD PCV IN (E) = 225.81 6" SD PVC OUT (S) = 225.81 |
| TRENCH DRAIN | TRENCH DRAIN | RIM = 226.34 | 4" TRENCH RD PCV OUT (W) = 225.97 |
| X-CB | TYPE I CB | RIM = 230.98 | 12" PVC IN (E) = 229.48 12" EX. SD D.I. OUT (W) = 229.48 |
| YD # 1 | YARD DRAIN | RIM = 230.06 | 4" RD PVC IN (E) = 227.25 4" RD PVC OUT (W) = 227.25 |
| YD # 2 | YARD DRAIN | RIM = 233.10 | 4" RD PVC OUT (W) = 230.57 |

**STORM & ROOF DRAINAGE SYSTEM
PIPE TABLE**

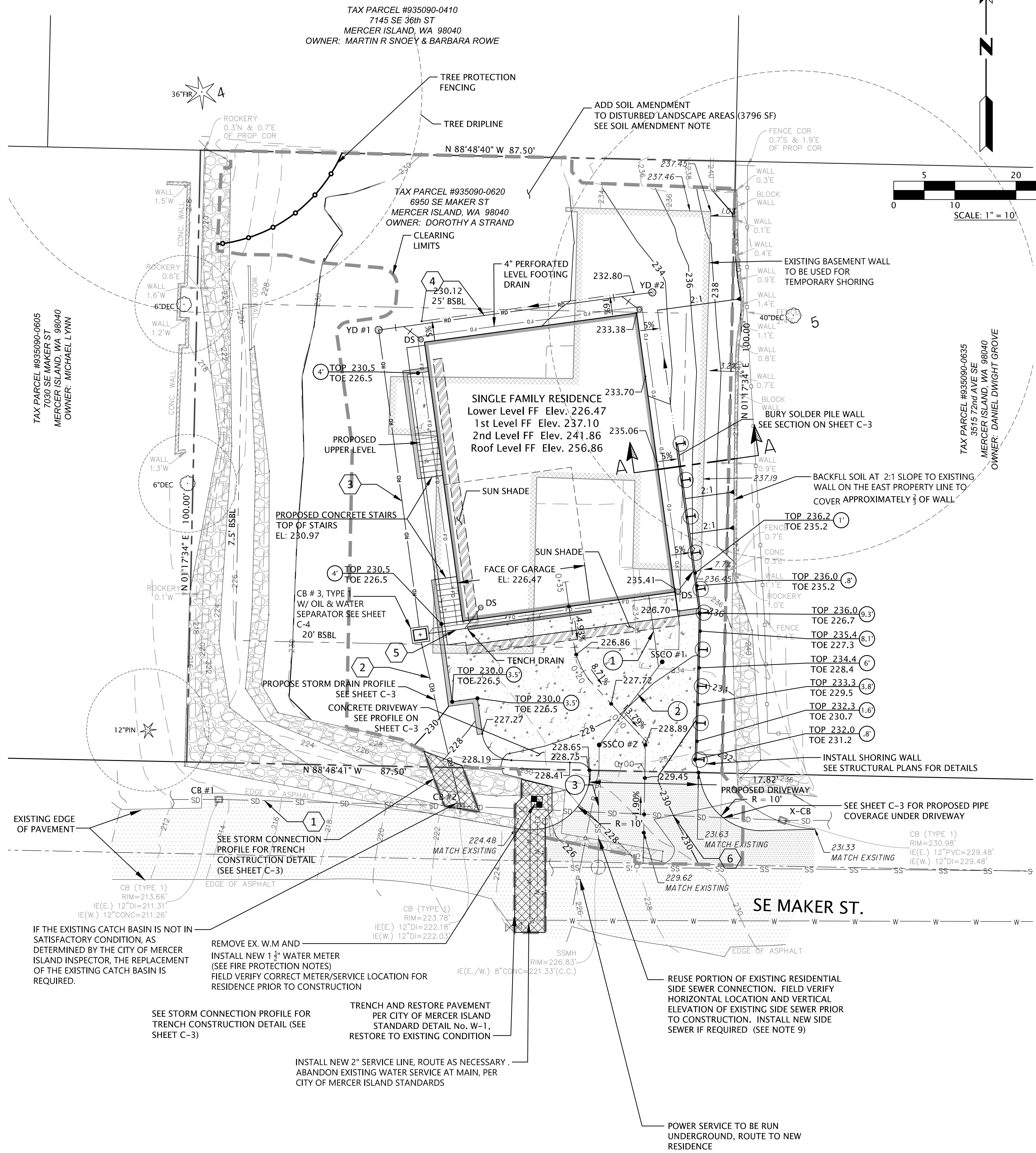
| PIPE | SIZE | LENGTH | PIPE INFORMATION |
|------|------|--------|-----------------------|
| 1 | 12" | 40 LF | SD D.I. @ 27.09% |
| 2 | 6" | 29 LF | SD PVC @ 13.13% |
| 3 | 4" | 50 LF | RD PVC @ 2.87% |
| 4 | 4" | 45 LF | RD PVC @ 7.34% |
| 5 | 4" | 8 LF | TRENCH RD PCV @ 2.00% |
| 6 | 12" | 53 LF | EX. SD D.I. @ 13.87% |

**SANITARY SEWER SYSTEM
STRUCTURE TABLE**

| NAME | TYPE | VERTICAL | I.E. IN / OUT |
|-------------|-----------------------------------|--------------|---|
| EX-SSMH # 1 | SSMH, EXISTING | RIM = 226.83 | 6" PVC IN (N) = 221.91 8" D.I. IN (E) = 221.33 8" D.I. OUT (W) = 221.33 |
| HOUSE | LOWER LEVEL FF | RIM = 226.47 | 6" PVC OUT (S) = 222.86 |
| SSCO # 1 | CLEAN OUT W/ TRAFFIC RATED LID | RIM = 223.17 | 6" PVC IN (N) = 222.63 6" PVC OUT (SW) = 222.63 |
| SSCO # 2 | CLEAN OUT W/ TRAFFIC RATED LID | RIM = 222.85 | 6" PVC IN (NE) = 222.31 6" PVC OUT (S) = 222.31 |

**SANITARY SEWER SYSTEM
PIPE TABLE**

| PIPE | SIZE | LENGTH | PIPE INFORMATION |
|------|------|--------|------------------|
| 1 | 6" | 12 LF | PVC @ 2.00% |
| 2 | 6" | 16 LF | PVC @ 2.00% |
| 3 | 6" | 20 LF | PVC @ 2.00% |



NOTES

- DEMOLISH EXISTING HOUSE, PATIO, DECK, WALKWAY, WALL AND DRIVEWAY PRIOR TO PROPOSED CONSTRUCTION.
- SITE AREA: 8,750 SF (0.20 AC)
- IMPERVIOUS CALCULATIONS:
ON-SITE
HOUSE = 1,888 SF
CONCRETE DRIVEWAY = 790 SF
DECK = 61 SF
STAIRS = 13 SF
RETAINING WALLS = 49 SF
NEW AND REPLACED SUBTOTAL = 2,801 SF
EX. ROCKERY / WALL = 736 SF
TOTAL IMPERVIOUS = 3,537 SF (40% OF LOT AREA)
OFF-SITE
ASPHALT DRIVEWAY = 485 SF
TOTAL PROJECT IMPERVIOUS = 4,022 SF
- EARTHWORK QUANTITY:
CUT = 662.75 CY
FILL = 19.92 CY
- ROOF DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR SDR35 FOR PVC PIPE AND N-12 FOR SMOOTH-BORE HDPE PIPE.
- FOOTING DRAIN PIPES SHALL MEET MATERIAL STANDARDS FOR D2729 FOR PVC, WITH THE PERFORATIONS DIRECTED DOWNWARD.
- CONTRACTOR SHALL COMPLY WITH THE CITY OF MERCER ISLAND "STORM DRAINAGE REQUIREMENTS" FOR ALL NEW CONSTRUCTION OF DRAINAGE SYSTEM IMPROVEMENTS, INCLUDING ROOF DRAINS, FOOTING DRAINS, AND DRIVEWAY/PARKING AREA DRAINS.
- CONTRACTOR TO COORDINATE EXACT LOCATION OF THE NEW METER WITH THE CITY'S WATER DEPARTMENT DURING CONSTRUCTION.
- THE TV INSPECTION OF THE EXISTING SIDE SEWER TO THE CITY SEWER MAIN ON SE MAKER ST IS REQUIRED PRIOR TO ANY WORK RELATED TO THE SIDE SEWER. IF THE RESULT OF THE TV INSPECTION IS NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE CITY OF MERCER ISLAND INSPECTOR, THE REPLACEMENT OF THE EXISTING SIDE SEWER IS REQUIRED.

LEGEND (DEVELOPED)

- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVEMENT
- TRENCH RESTORATION
- PROPOSED SANITARY SIDE SEWER
- PROPOSED SANITARY SIDE SEWER CLEANOUT
- PROPOSED WATER SERVICE LINE
- PROPOSED WATER METER
- PROPOSED YARD DRAIN
- PROPOSED ROOF DRAIN PIPE
- PROPOSED ROOF DRAIN CLEANOUT
- PROPOSED FOOTING DRAIN PIPE
- PROPOSED FOOTING DRAIN PIPE
- PROPOSED DOWNSPOUT
- PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN, TYPE I

FIRE PROTECTION NOTES:

FIRE SPRINKLER REQUIRED
BUILDER AND FIRE PROTECTION DESIGNER TO CONFIRM METER AND WATER SERVICE SIZE PRIOR TO CONSTRUCTION OF WATER SERVICE

SURVEY NOTE

EXISTING SURVEY INFORMATION SHOWN HEREON IS BASED ON SURVEY BY TERRANE SURVEYING & MAPPING, AND ELECTRONIC DRAWING FILES AS PROVIDED ON 03/25/2022. SURVEY INFORMATION HAS NOT BEEN FIELD VERIFIED BY GOLDSMITH.

TEMPORARY SHORING

TEMPORARY SHORING SHALL BE INSTALLED AT THE DIRECTION OF THE PROJECT GEOTECHNICAL ENGINEER.

SOIL AMENDMENT NOTE

STOCKPILE AND COMPOST AMENDED DISTURBED LANDSCAPED AREAS PER CITY OF MERCER ISLAND POST-CONSTRUCTION SOIL MANAGEMENT
TOP SOIL LAYER SHALL HAVE A MINIMUM DEPTH OF 8" AND A ORGANIC CONTENT OF 5% IN TURF AREAS AND 10% IN PLANTER BEDS. SUBSOIL BELOW TOP SOIL LAYER SHALL BE SCARIFIED TO A DEPTH OF 4" BELOW TOPSOIL LAYER. PLANTER BEDS SHALL BE MULCH WITH 2" OF ORGANIC MATERIAL.
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.



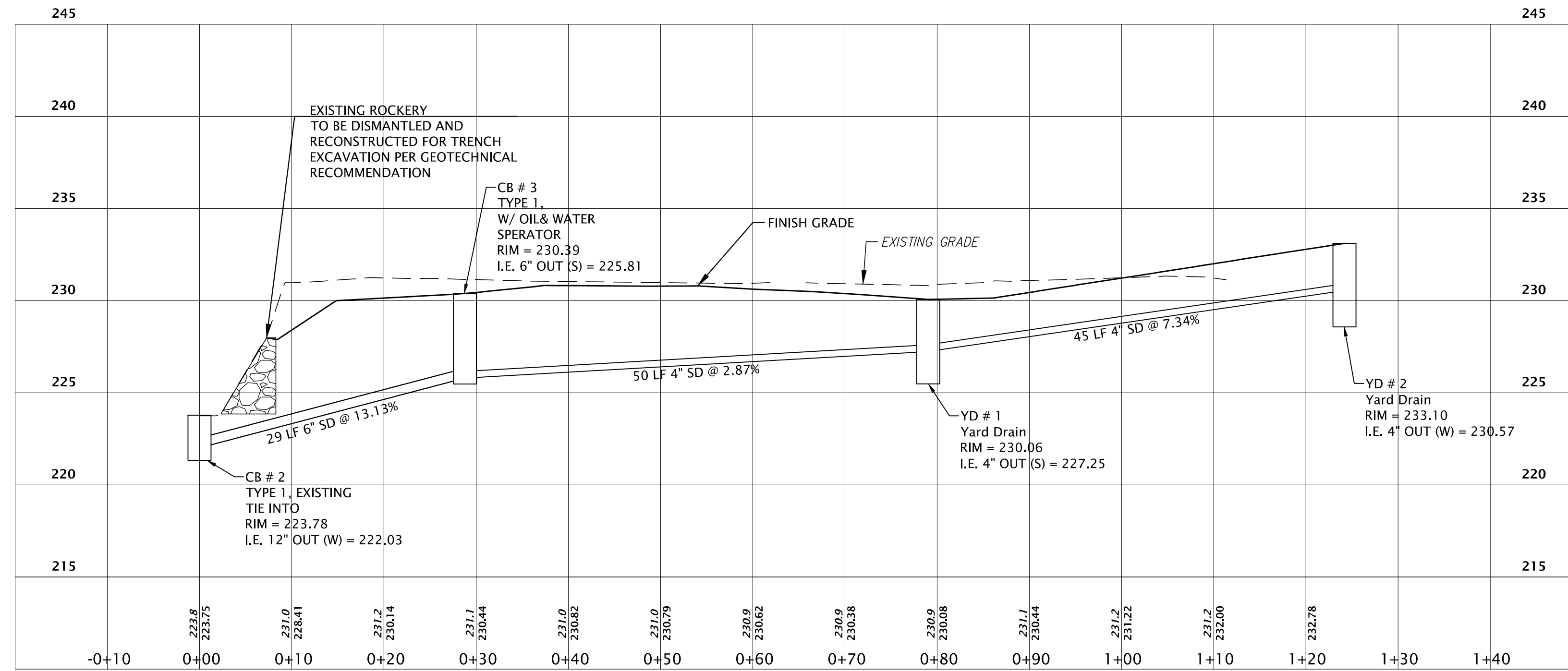
GOLDSMITH
LAND DEVELOPMENT SERVICES
11400 SE 8th St, Suite 450, Bellevue, WA 98004 | PO Box 3565, Bellevue, WA 98009
T 425 462 1080 www.goldsmithengineering.com

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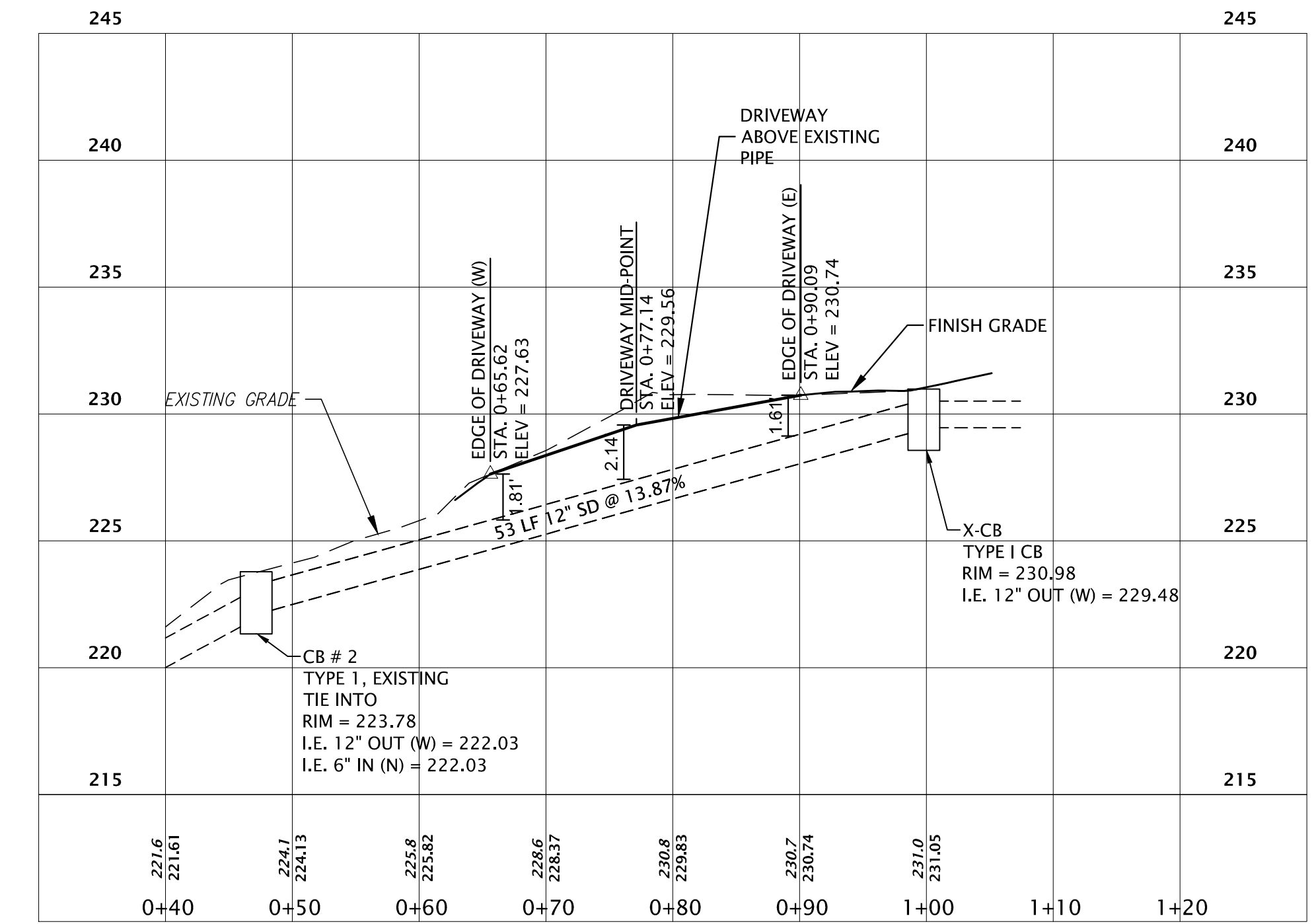
02/07/2023
KRISTIE J. GOLDSMITH
REGISTERED PROFESSIONAL ENGINEER
MAKEL A. BARNER
REGISTERED PROFESSIONAL ENGINEER

DOROTHY STRAND
**GRADING, DRAINAGE AND UTILITY PLAN
FOR
STRAND PROPERTY**
6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON
JOB NO. 22038
SHEET
C-2

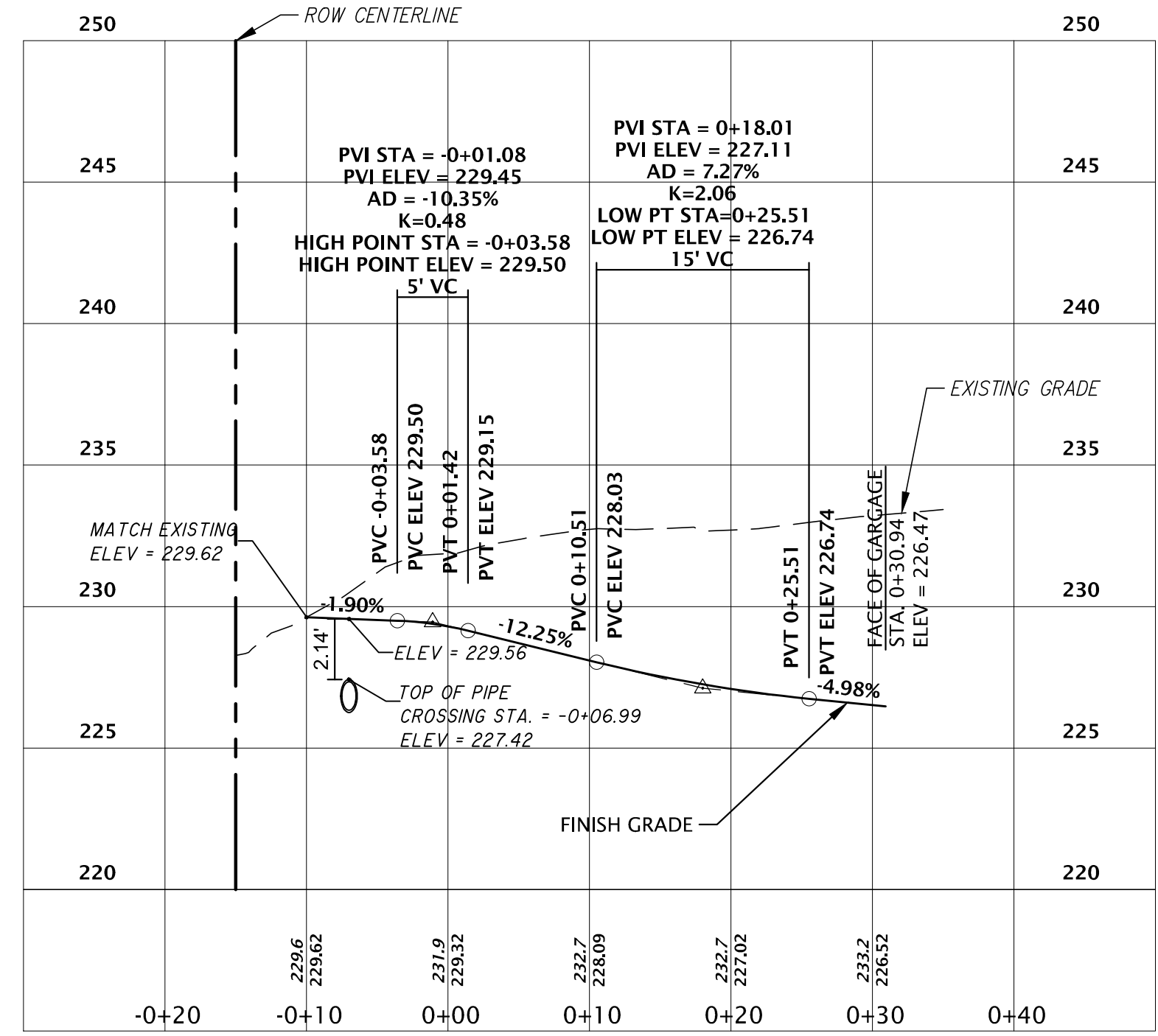
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CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



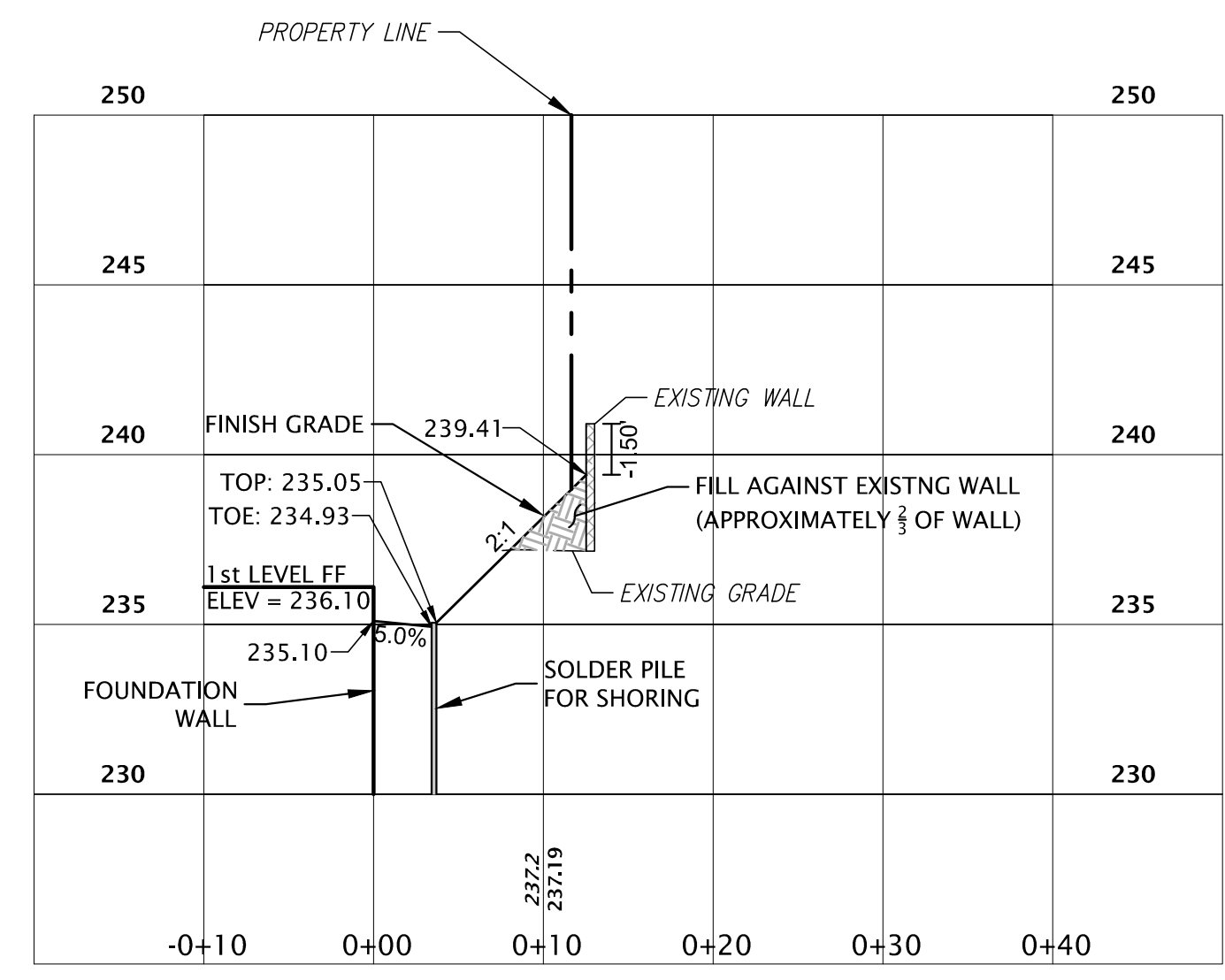
PROPOSE RESIDENTIAL STORM DRAIN CONNECTION PROFILE
STA. -0+10.00 TO STA. 1+40.00
1" = 10.00' HORIZ.
1" = 5.00' VERT.



EXISTING SE MARKER ST. STORM PROFILE
STA. 0+40.00 TO STA. 1+20.00
1" = 10.00' HORIZ.
1" = 5.00' VERT.



PROPOSE DRIVEWAY PROFILE
STA. -0+20.00 TO STA. 0+40.00
1" = 10.00' HORIZ.
1" = 5.00' VERT.



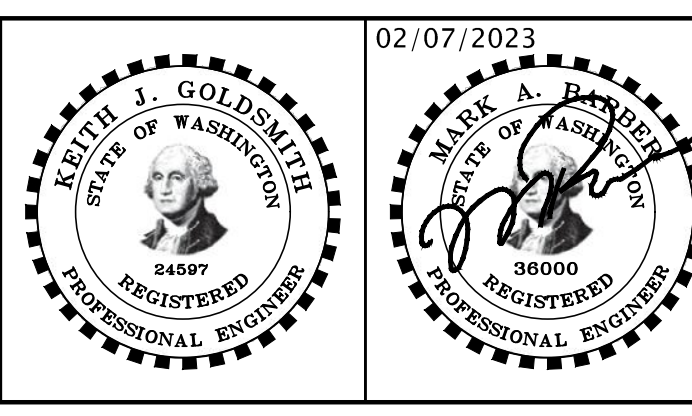
WALL SECTION VIEW PROFILE
STA. -0+10.00 TO STA. 0+40.00
1" = 10.00' HORIZ.
1" = 5.00' VERT.

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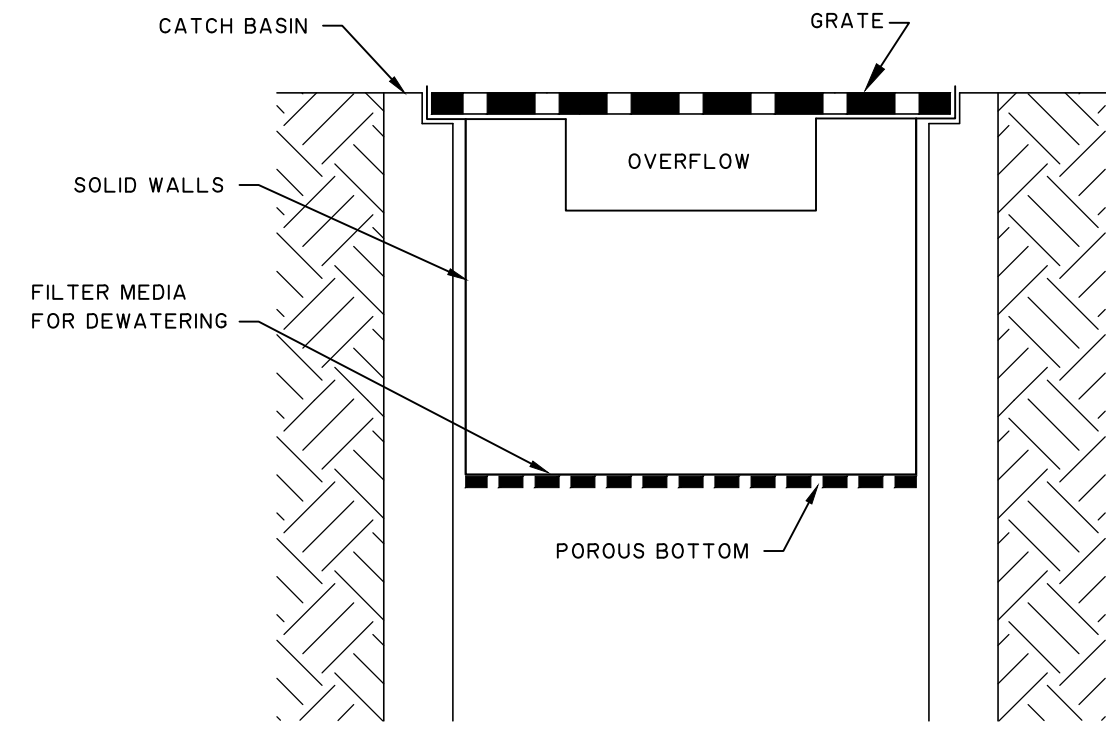


DOROTHY STRAND
PROFILES AND SECTIONS FOR STRAND PROPERTY
6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON



JOB NO. 22038
SHEET
C-3

NW ¼, SW ¼ SECTION 12, TOWNSHIP 24 N, RANGE 4 E, W.M.
CITY OF MERCER ISLAND, KING COUNTY, WASHINGTON



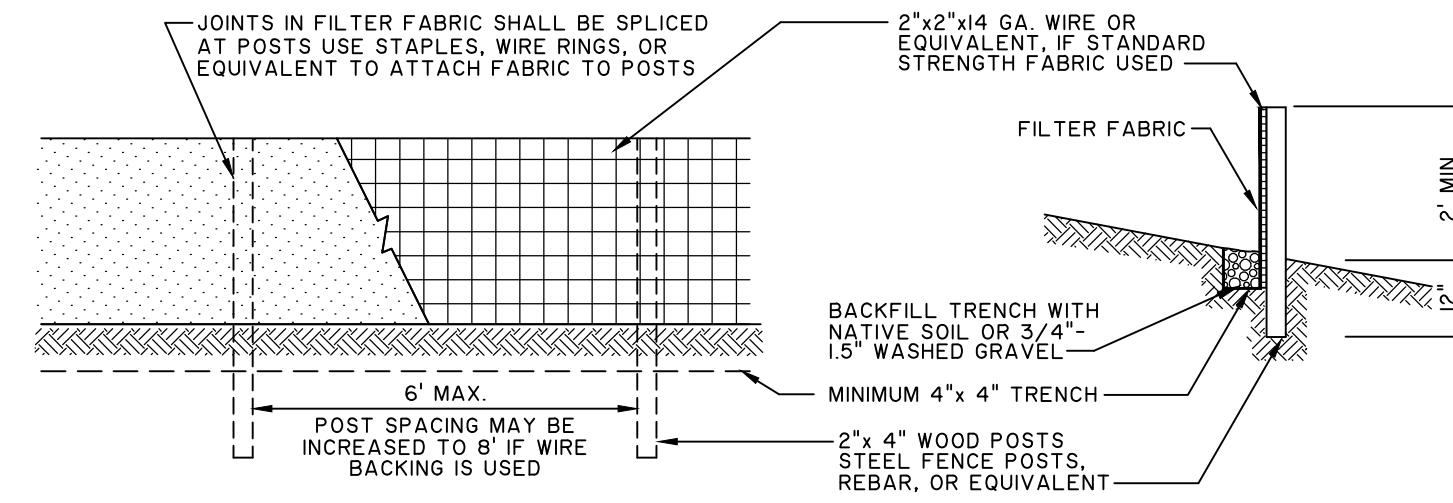
NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 C.F. OF STORAGE, THE MEANS TO DEWATER THE STORED SEDIMENT, AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

MAINTENANCE STANDARDS

1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AN ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE SEDIMENT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

CATCH BASIN INSERT DETAIL

NTS



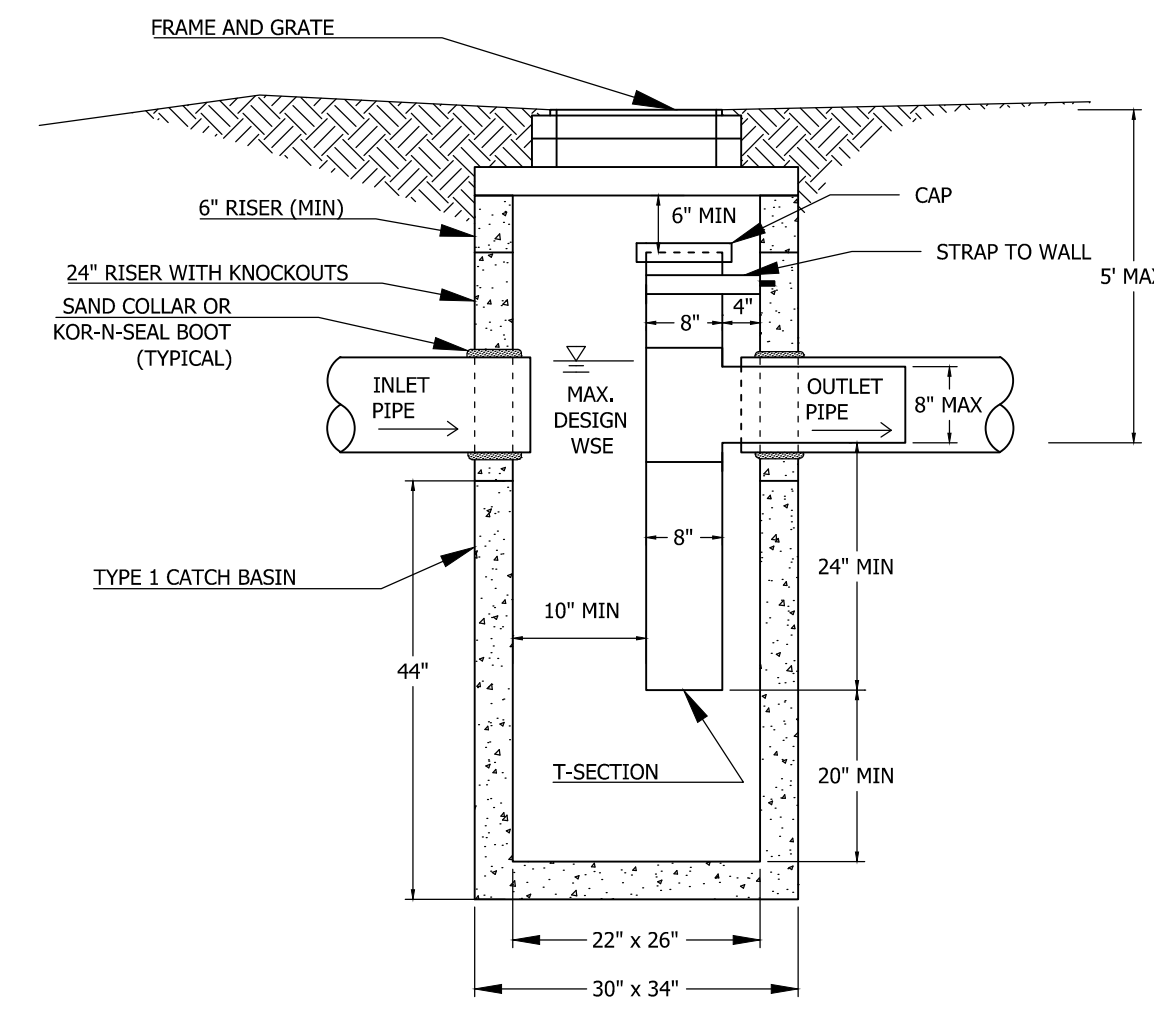
NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

MAINTENANCE STANDARDS

1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLELED TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE AND/OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE

NTS



NOTES

1. MAX. OUTLET PIPE DIAMETER IS 8 INCHES. VERTICAL RISER SECTION SHALL BE ALIGNED PLUMB VERTICALLY. HORIZONTAL RISER SECTION SHALL MATCH OUTLET PIPE SLOPE.
2. ALL METAL PARTS AND SURFACES MUST BE CORROSION RESISTANT. STEEL HARDWARE SHALL BE GALVANIZED. PIPES SHALL BE PVC. COMPLETE CORROSION PROTECTION MUST BE ASSURED.
3. APPLY NON-SHRINK GROUT TO INSIDE AND OUTSIDE OF ALL JOINTS, RINGS, RISERS AND FRAMES.
4. SLIP SMOOTH-BORE HORIZONTAL LEG OF FLOW CONTROL TEE INSIDE CARRIER PIPE.
5. NO FLOW CONTROL JOINT OUTSIDE OF STRUCTURE.

CB TYPE 1 W/ OIL & WATER SEPARATOR

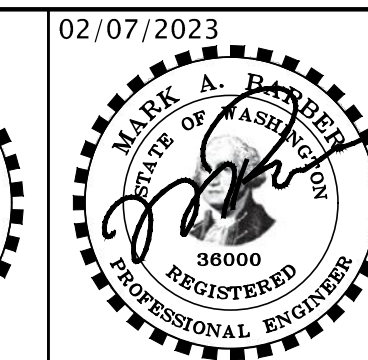
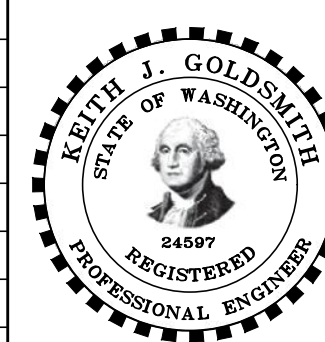
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STANDARD TESC PLAN NOTES:

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.



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DOROTHY STRAND

DETAILS AND NOTES
FOR
STRAND PROPERTY

6950 SE MAKER ST., CITY OF MERCER ISLAND KING COUNTY, WASHINGTON

JOB NO. 22038
SHEET
C-4

PLAN NOTES:

- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1 1/4" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS + BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.11.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M501.1 AND M506.2.
- ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
 - MINIMUM 6'-8" HEAD ROOM.
 - MINIMUM LANDING LENGTH 36"
- CONTRACTOR TO COMPLETE AND POST INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION FORM WITHIN 3' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.
- WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SRC M507.3.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILINGS OVER CONDITIONED SPACE SHALL RECEIVE R-49 BLOW-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
- AT CRAWL SPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE. EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

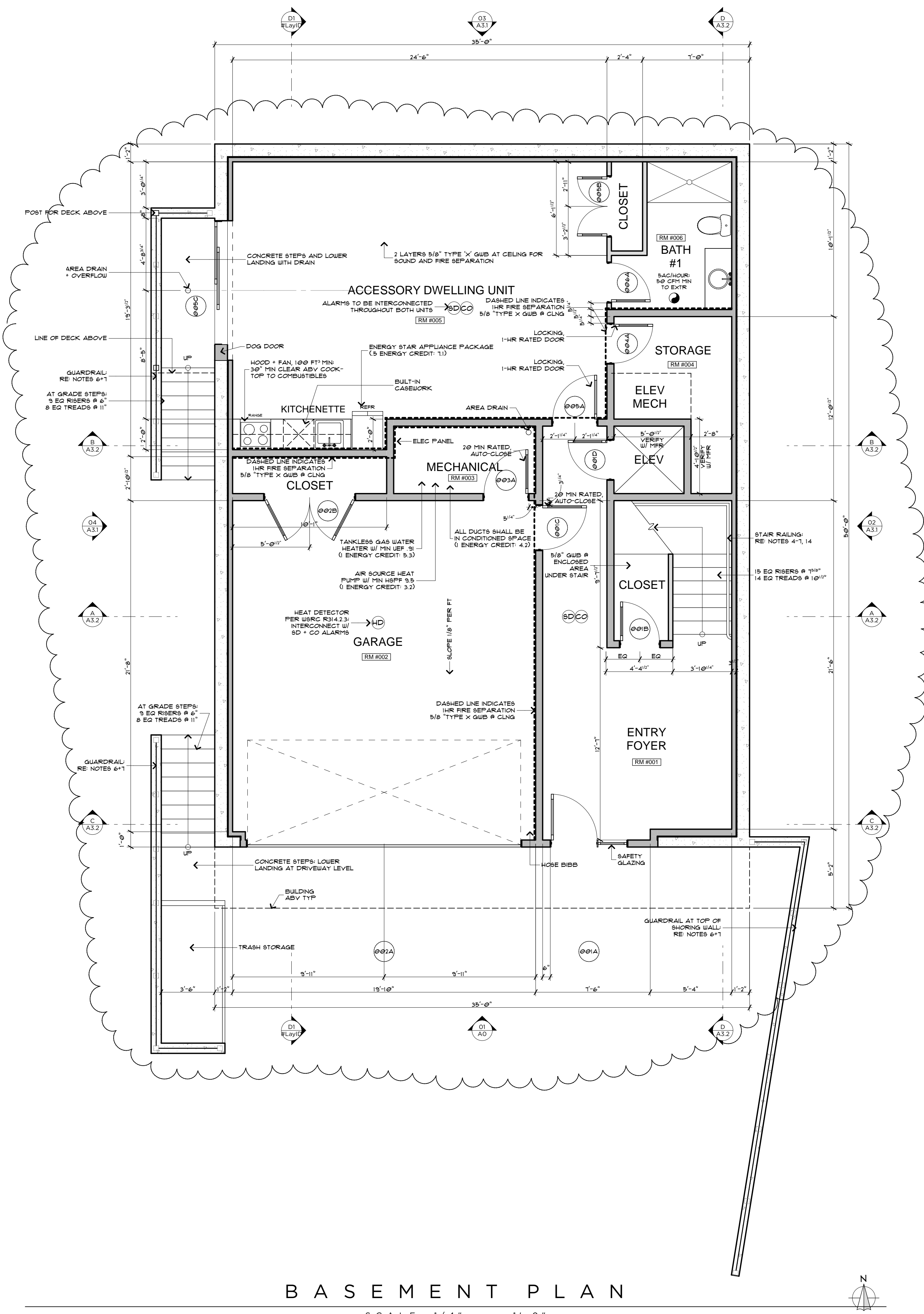
LOT AREA: 8,750 FT²
 MAXIMUM ALLOWABLE GFA: (40%) 3,500 FT²
 ADDITIONAL GFA FOR ADU: (5%) 437.5 FT²
 TOTAL ALLOWABLE GFA W/ ADU: (45%) 3,937.5 FT²

BASEMENT GFA (937.5 FT² EXCLUDED SEE BELOW): 672 FT²
 FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c): 1,669 FT²
 SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER 19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST FLOOR): 1,529 FT²
 FLOOR:
 SECOND FLOOR COVERED DECK GFA: 66 FT²
 TOTAL GROSS FLOOR AREA: (44.9%) 3,936 FT²

BASEMENT FLOOR EXCLUSION CALCS:

| WALL SEGMENT | LENGTH | COVERAGE % | RESULT |
|--------------|--------|------------|--------|
| A | 35' | 0% | 0' |
| B | 46' | 99.37% | 27'-5" |
| C | 35' | 100.00% | 27'-5" |
| D | 46' | 100% | 46'-0" |
| TOTALS | 162' | | 94'-4" |

94'-4" / 162' = 58.23%
 1610 FT² X 58.23% = 937.5 FT² EXCLUDED
 1610 FT² - 937.5 FT² = 672.5 FT²



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

10651 REGISTERED ARCHITECT
 Jeffrey P. Almeter
 State of Washington
 6950 SE MAKER ST
 MERCER ISLAND, WA

BASEMENT FLOOR PLAN
 RELEASE
 21 MARCH 2022
 PERMIT CORRECTIONS
 20 FEBRUARY 2023

A 2.0

PLAN NOTES:

- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1 1/4" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS + BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM.
- PROVIDE A PROGRAMMABLE THERMOSTAT FOR THE PRIMARY SPACE CONDITIONING SYSTEM WITHIN EACH DWELLING UNIT PER SEC R403.11.
- A MINIMUM OF 75 PERCENT OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS.
- ALL SHOWERHEADS + KITCHEN SINK FAUCETS INSTALLED IN THE UNIT SHALL BE RATED AT 1.75 GPM OR LESS. ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS.
- ALL EXHAUST AIR SHALL VENT DIRECTLY TO THE EXTERIOR OF THE BUILDING PER M501.1 AND M506.2.
- ALL NEW STAIRS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM 36" WIDTH.
 - MAXIMUM 7 3/4" RISER, MINIMUM 10" TREAD.
 - MINIMUM 6'-8" HEAD ROOM.
 - MINIMUM LANDING LENGTH 36"
- CONTRACTOR TO COMPLETE AND POST INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION FORM WITHIN 3' OF ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.
- SHOULD AN AIR LEAKAGE TEST BE CONDUCTED, A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO CALL FOR FINAL INSPECTION. AIR LEAKAGE SHALL NOT EXCEED 5 AIR CHANGES/HOUR.
- WHOLE HOUSE VENTILATION INTEGRATED WITH FORCED-AIR SYSTEM PER SRC M507.3.5 AND SHALL RUN INTERMITTENTLY.

WSEC 2018 NOTES:

- THIS PROJECT IS ELIGIBLE AND COMPLIANT W/ WSEC 2018 PRESCRIPTIVE METHOD.
- INSULATION VALUES SHALL BE AS FOLLOWS:
 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
 - ALL OVERHEAD GLAZING SHALL BE 0.50 U-FACTOR MAX.
 - ALL EXTERIOR DOORS (INCLUDING DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE) SHALL BE 0.20 U-FACTOR MIN.
 - ALL CEILINGS OVER UNCONDITIONED SPACE SHALL RECEIVE R-49 BLOWN-IN INSULATION MIN.
 - ALL VAULTED CEILINGS SHALL RECEIVE R-38 BATT INSULATION MIN.
 - ALL ABOVE-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN.
 - ALL BELOW-GRADE EXTERIOR WALLS SHALL RECEIVE R-21 BATT INSULATION MIN @ INTERIOR FRAMED WALL.
 - ALL FLOORS OVER UNCONDITIONED SPACE SHALL RECEIVE R-30 BATT INSULATION MIN.
 - ALL SLAB-ON-GRADE WITHIN CONDITIONED SPACE SHALL RECEIVE R-10 RIGID INSULATION WITHIN 24" OF SLAB PERIMETER.
 - ALL HEADERS @ EXTERIOR WALLS SHALL RECEIVE R-10 RIGID INSULATION @ INTERIOR SIDE OF WALL.
- RE: STRUCTURAL DRAWINGS FOR ALL FRAMING COMPLIANCE REQUIREMENTS.
- PROVIDE 100 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ KITCHEN.
- PROVIDE 50 CFM INTERMITTENTLY OPERATING POINT-OF-USE VENTILATION @ ALL BATHS + LAUNDRY.
- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
- AT CRAWL SPACES THE MIN NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 FT² FOR EACH 300 FT² OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING AT CRAWLSPACE. EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS, OR CRAWLSPACE SHALL BE MECHANICALLY VENTED.
- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

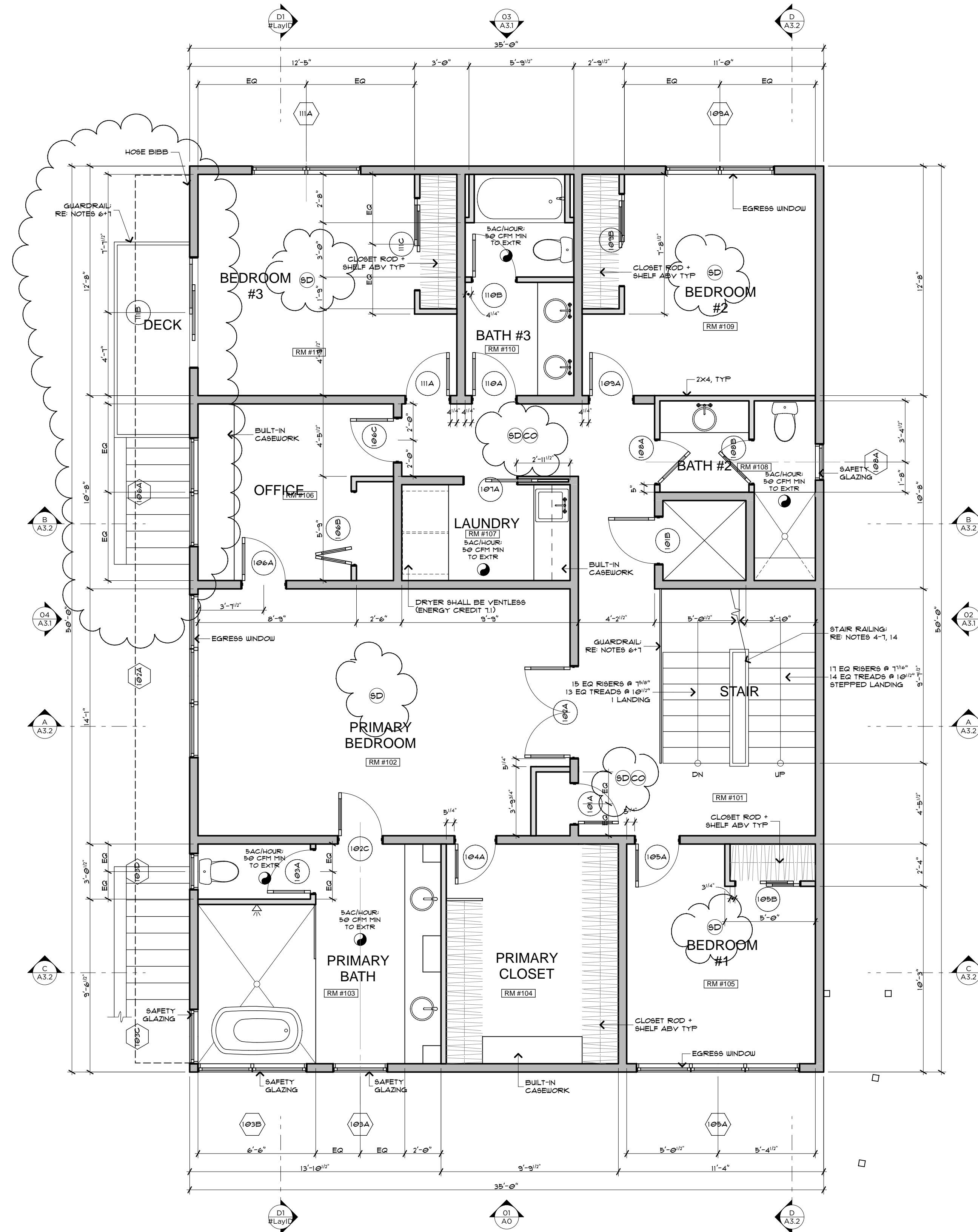
FLOOR AREAS:

| | |
|--|-------------------------------|
| LOT AREA: | 8,750 FT ² |
| MAXIMUM ALLOWABLE GFA: | (40%) 3,500 FT ² |
| ADDITIONAL GFA FOR ADU: | (5%) 437.5 FT ² |
| TOTAL ALLOWABLE GFA W/ ADU: | (45%) 3,937.5 FT ² |
| BASEMENT GFA (937.5 FT ² EXCLUDED SEE BELOW): | |
| FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c): | 1,669 FT ² |
| SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER 19.02.020.D.2.d, 100% AT BASEMENT LEVEL + 100% AT FIRST FLOOR): | 1,529 FT ² |
| TOTAL GROSS FLOOR AREA: | |
| SECOND FLOOR COVERED DECK GFA: | 66 FT ² |
| TOTAL GROSS FLOOR AREA: | (44.9%) 3,936 FT ² |

BASEMENT FLOOR EXCLUSION CALCS:

| WALL SEGMENT | LENGTH | COVERAGE % | RESULT |
|--------------|--------|------------|--------|
| A | 35' | 0% | 0' |
| B | 46' | 99.37% | 27'-5" |
| C | 35' | 100.00% | 27'-5" |
| D | 46' | 100% | 46'-0" |
| TOTALS | 162' | | 94'-4" |

94'-4" / 162' = 58.23%
 1610 FT² X 58.23% = 937.5 FT² EXCLUDED
 1610 FT² - 937.5 FT² = 672.5 FT²



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

FIRST FLOOR PLAN

RELEASE
 21 MARCH 2022
 PERMIT CORRECTIONS
 20 FEBRUARY 2023

A 2.1

PLAN NOTES:

- THIS PROJECT SHALL BE DESIGNED, ENGINEERED, + CONSTRUCTED IN FULL COMPLIANCE W/ ALL CODES + REGULATIONS.
- ALL EXTERIOR WALLS SHALL BE 2x6 UNO.
- ALL INTERIOR WALLS SHALL BE 2x4 UNO.
- ALL HANDRAILS SHALL BE LOCATED @ 36" ABOVE STAIR NOSING WITH A GRASP DIMENSION BETWEEN 1 1/8" - 2".
- ALL HANDRAILS SHALL BE CONTINUOUS OR TERMINATE AT NEWEL POST.
- ALL GUARDRAILS SHALL BE 36" ABOVE FINISHED FLOOR AND DESIGNED SUCH THAT THE MAXIMUM OPENING WILL NOT ALLOW PASSAGE OF A 4" SPHERE.
- ALL GUARDRAILS SHALL BE DESIGNED TO RESIST A 200LB CONCENTRATED LOAD AT THE TOP RAIL AND 50 PSF ON ALL GUARDRAIL INFILL COMPONENTS.
- 5/8" TYPE 'X' GWB AT ALL GARAGE WALLS AND CEILING AS WELL AS ANY POSTS + BEAMS.
- ACCESSIBLE AREA UNDER STAIR SHALL BE 1/2" GWB MINIMUM.
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WSEC 2018 NOTES:

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 - ALL VERTICAL GLAZING SHALL BE 0.30 U-FACTOR MAX.
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- NATURAL GAS, PROPANE OR OIL WATER HEATER SHALL HAVE A MINIMUM EF OF 0.91 (WSEC 406.2, CREDIT 5c).
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- THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R402.4.1 THROUGH R402.4.4. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE TESTING RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE CODE OFFICIAL.
- AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE.

FLOOR AREAS:

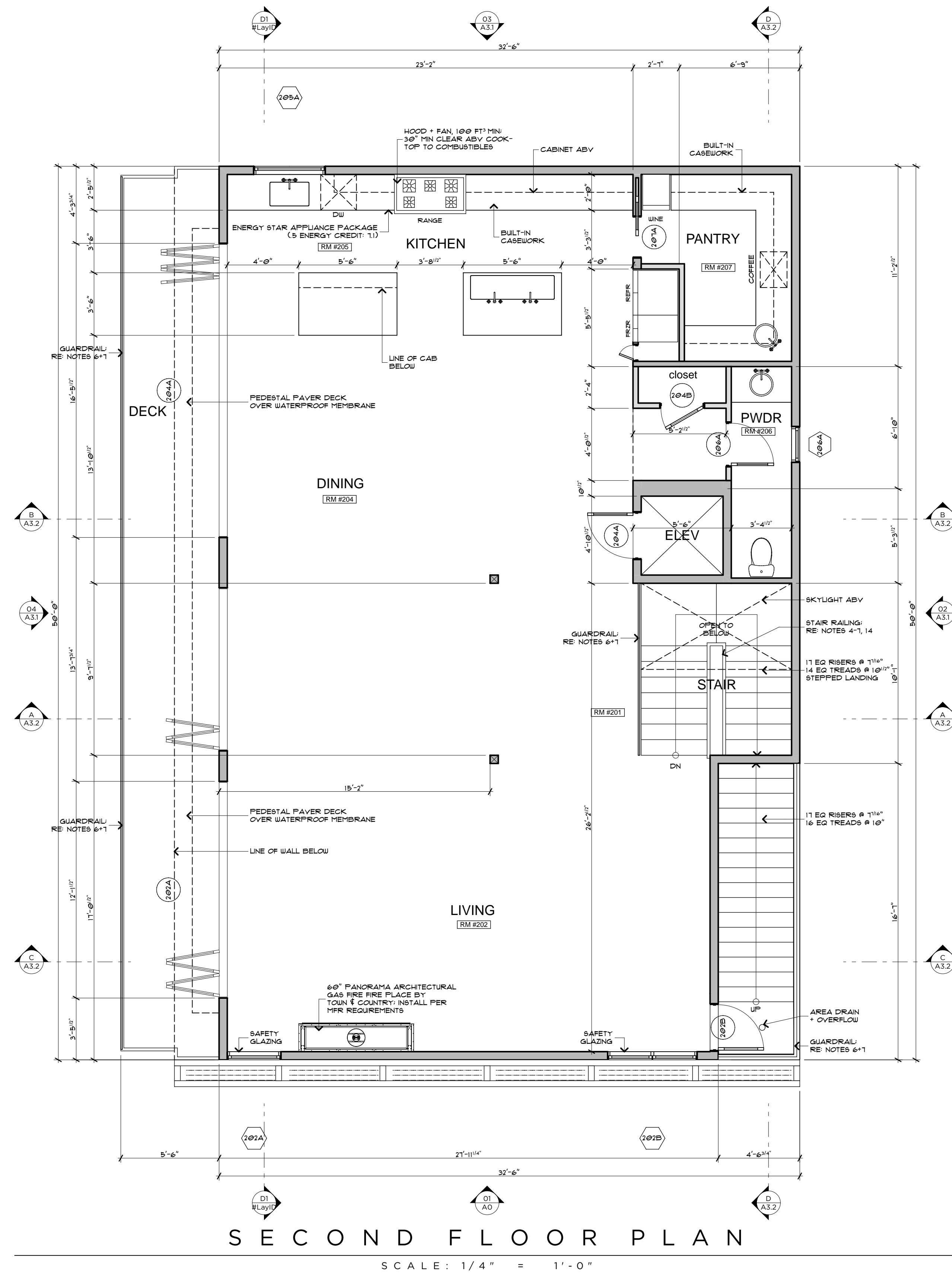
LOT AREA: 8,750 FT²
 MAXIMUM ALLOWABLE GFA: (40%) 3,500 FT²
 ADDITIONAL GFA FOR ADU: (5%) 437.5 FT²
 TOTAL ALLOWABLE GFA W/ ADU: (45%) 3,937.5 FT²

BASEMENT GFA (937.5 FT² EXCLUDED SEE BELOW): 672 FT²
 FIRST FLOOR GFA (EXCLUDE STAIR PER 19.02.020.D.2.c): 1,669 FT²
 SECOND FLOOR GFA (EXCLUDE ELEVATOR SHAFT PER 19.02.020.D.b, 100% AT BASEMENT LEVEL + 100% AT FIRST FLOOR): 1,529 FT²
 FLOOR:
 SECOND FLOOR COVERED DECK GFA: 66 FT²
 TOTAL GROSS FLOOR AREA: (44.9%) 3,936 FT²

BASEMENT FLOOR EXCLUSION CALCS:

| WALL SEGMENT | LENGTH | COVERAGE % | RESULT |
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| B | 46' | 99.37% | 27'-5" |
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| TOTALS | 162' | | 94'-4" |

94'-4" / 162' = 58.23%
 1610 FT² X 58.23% = 937.5 FT² EXCLUDED
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MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

SECOND FLOOR PLAN

RELEASE
 21 MARCH 2022
 PERMIT CORRECTIONS
 20 FEBRUARY 2023

A 2 . 2

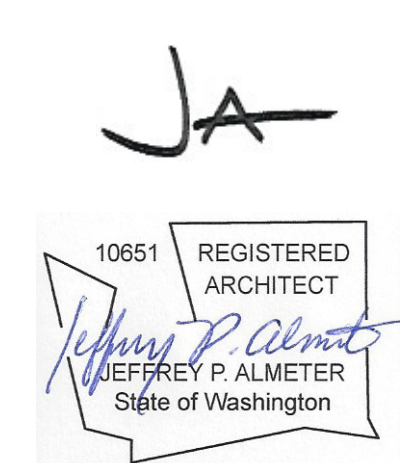
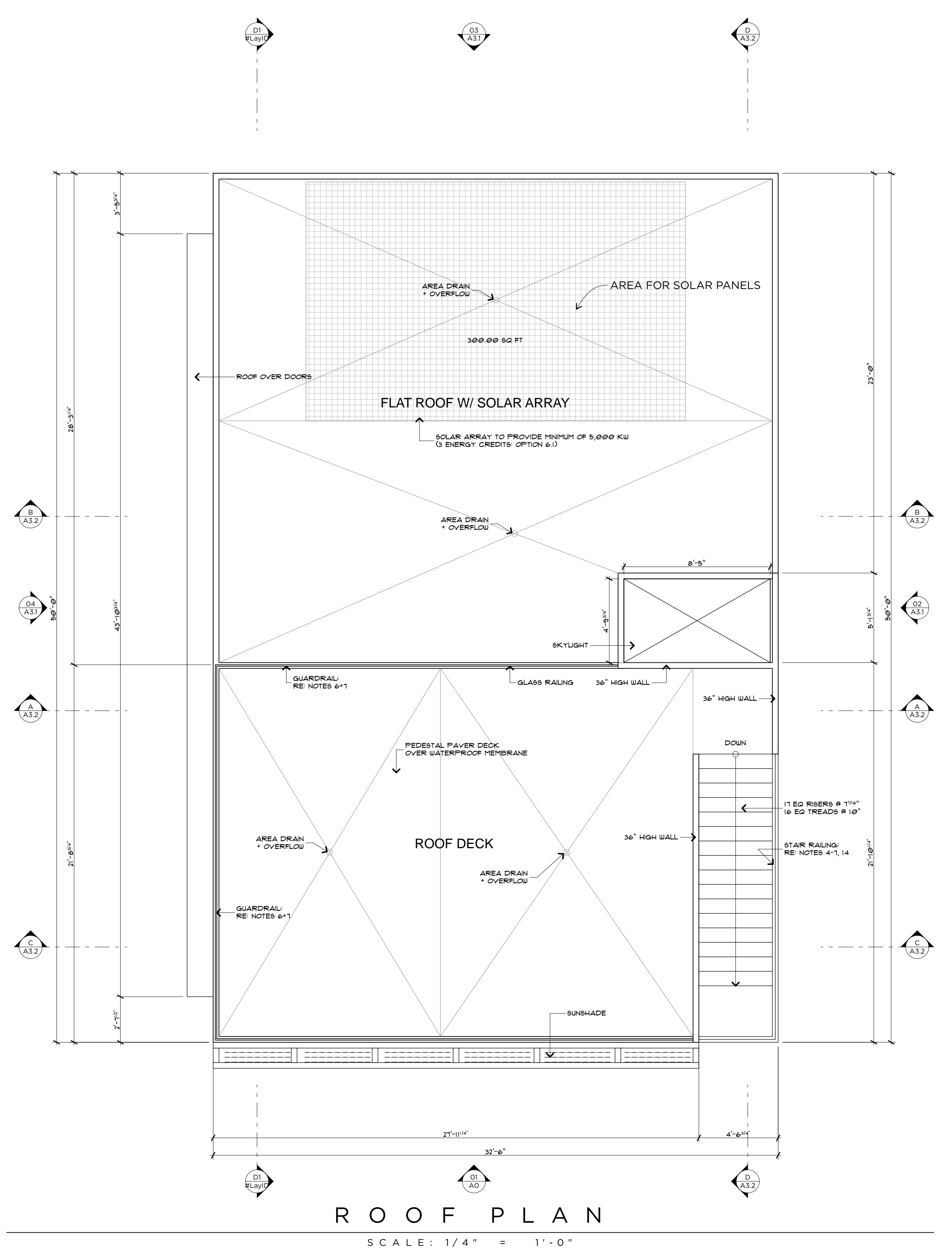
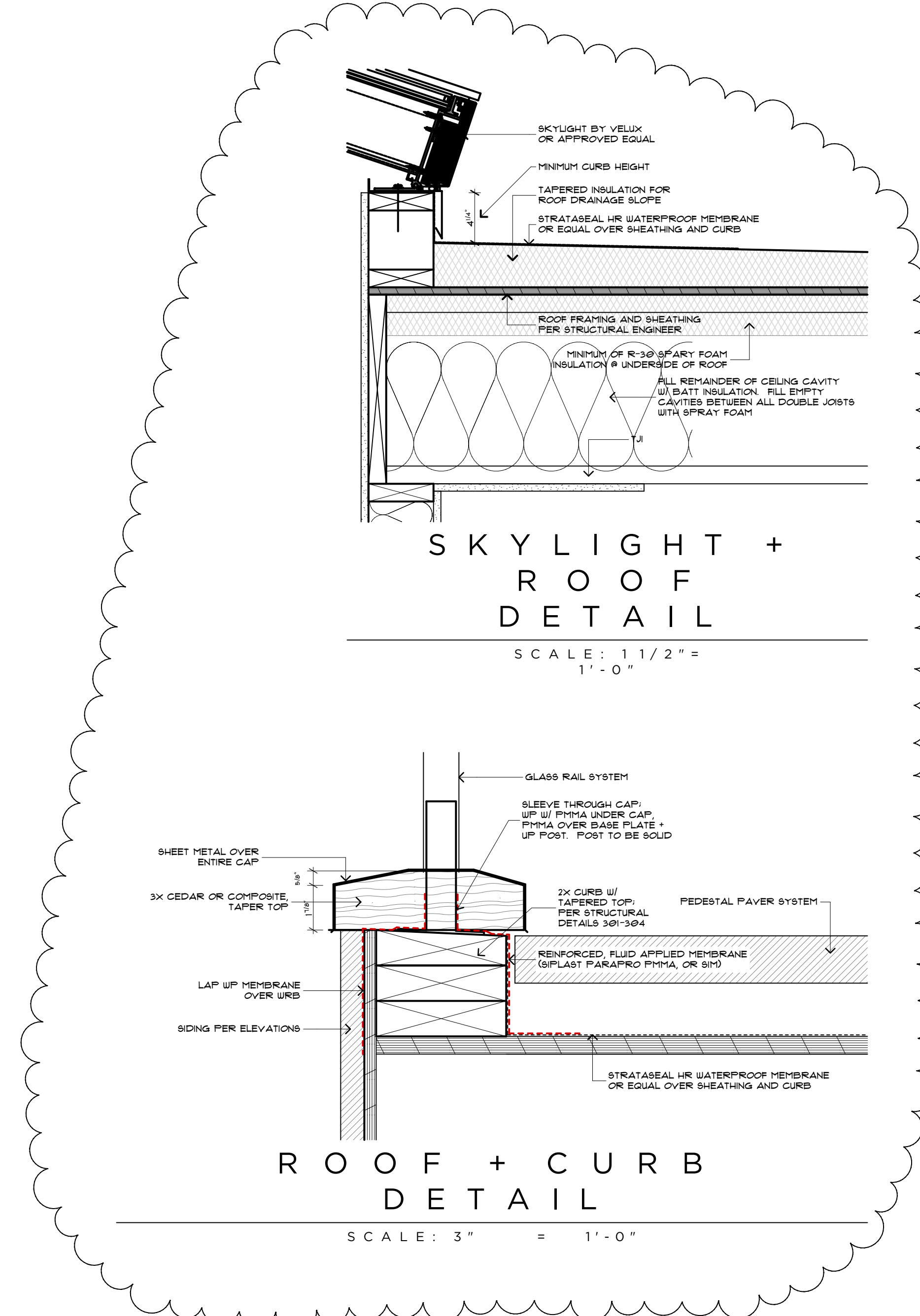
MAKER AVE
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ROOF NOTES:

1. CHIMNEY SHALL EXTEND A MIN OF 2'-0" ABV ROOF OR PARAPET WITHIN 10'-0" RADIUS OF CHIMNEY. PROVIDE APPROVED SPARK ARRESTOR @ ALL CHIMNEY CAPS. ALL ARCHITECTURAL FEATURES MUST BE PERMITTED BY FLU + SPARK ARRESTOR MFR APPROVAL.
2. COORDINATE DOWNSPOUT LOCATION W/ JEFFREY ALMETER, INC. PRIOR TO INSTALLATION.
3. ALL VENTS SHALL BE LOCATED AWAY FROM VISIBILITY @ PUBLIC RIGHT-OF-WAY.
4. TRUSS MANUFACTURERS TO PROVIDE TRUSS SHOP DRAWINGS TO JEFFREY ALMETER FOR DESIGN APPROVAL A MINIMUM OF 10 BUSINESS DAYS PRIOR TO TRUSS MANUFACTURING.

WSEC 2018 NOTES:

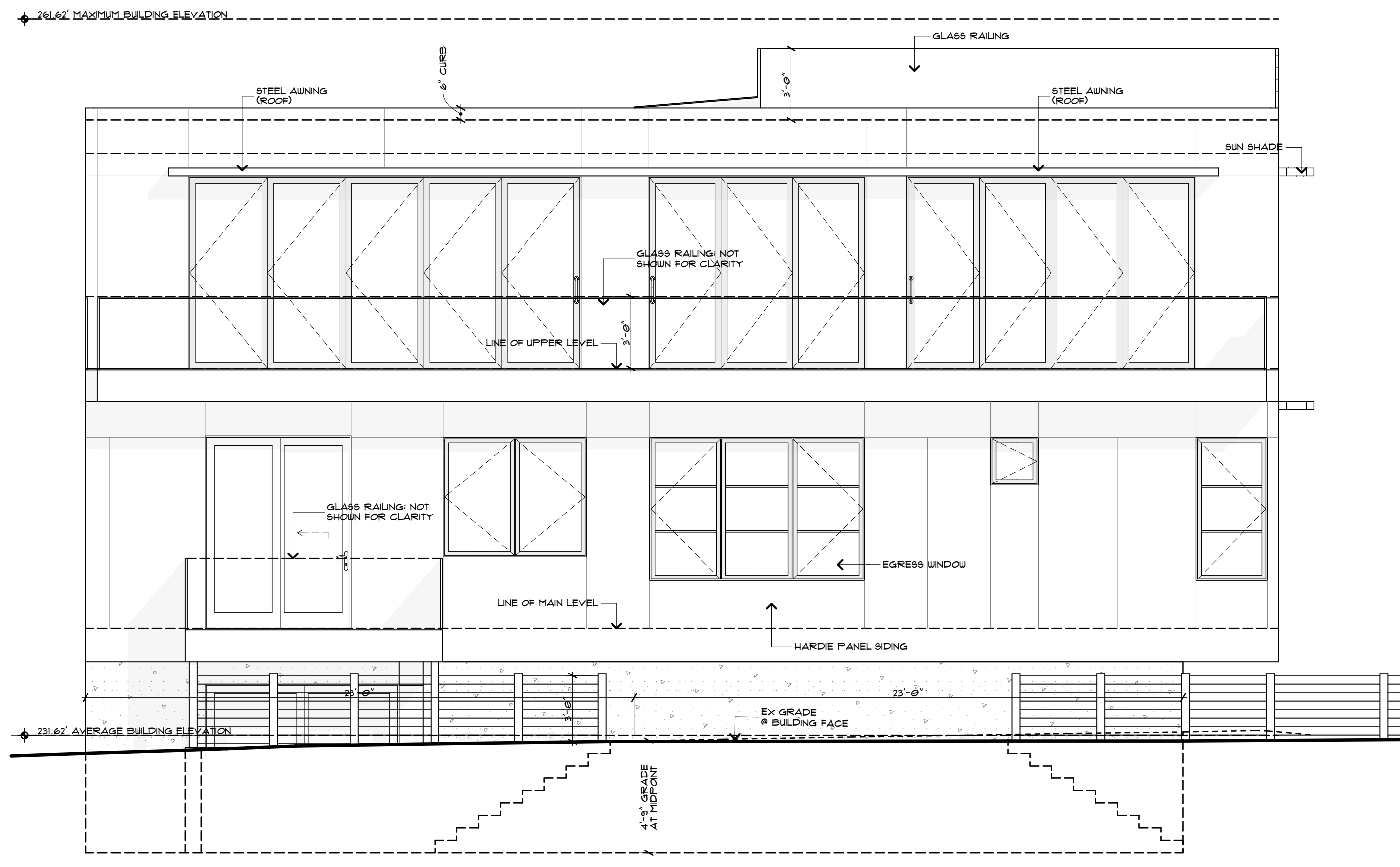
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MERCER RESIDENCE
 6390 SE MAKER ST MERCER ISLAND, WA

ROOF PLAN

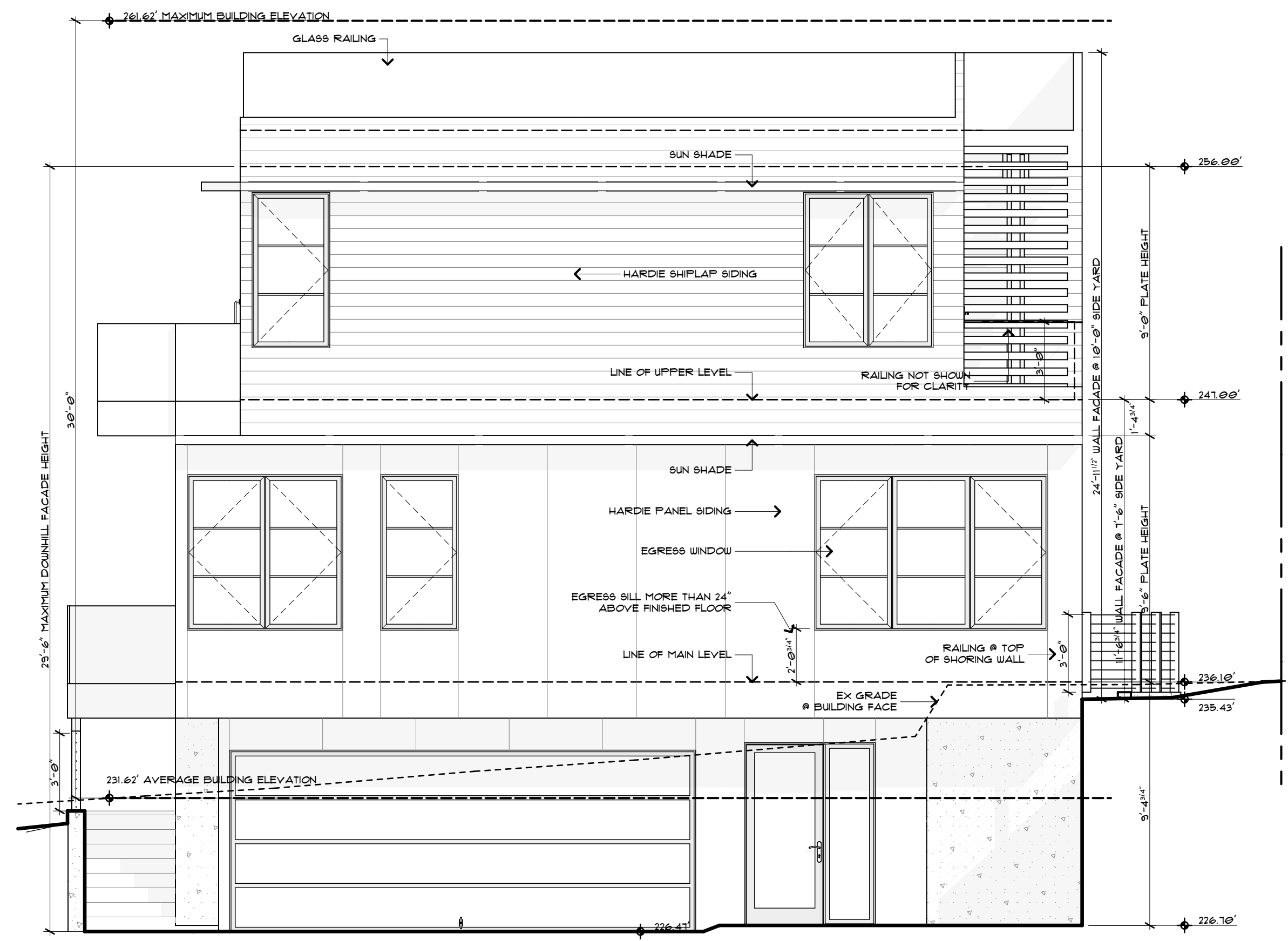
RELEASE
 21 MARCH 2022
 PERMIT CORRECTIONS
 20 FEBRUARY 2023



WEST ELEVATION

2

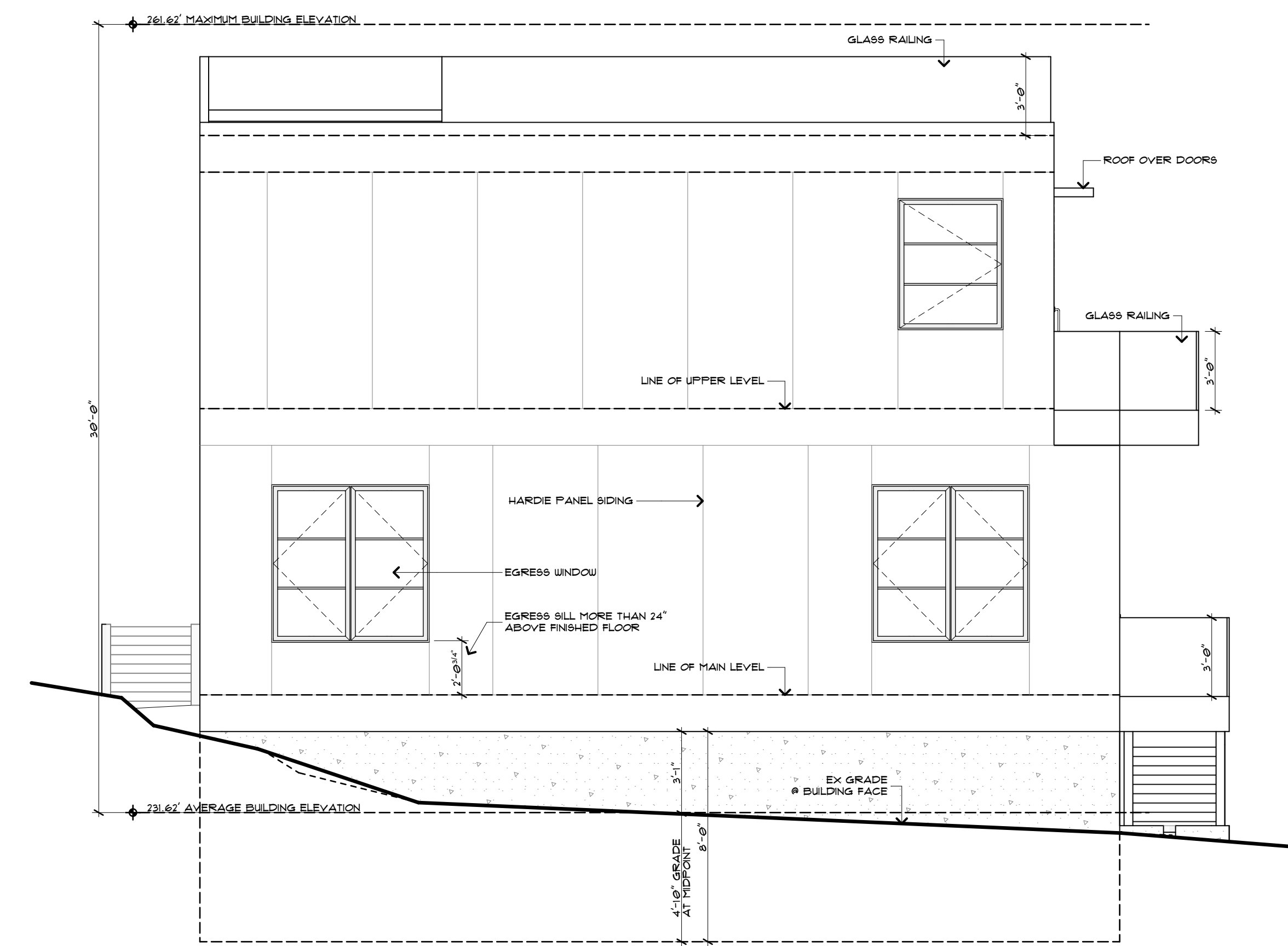
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

1

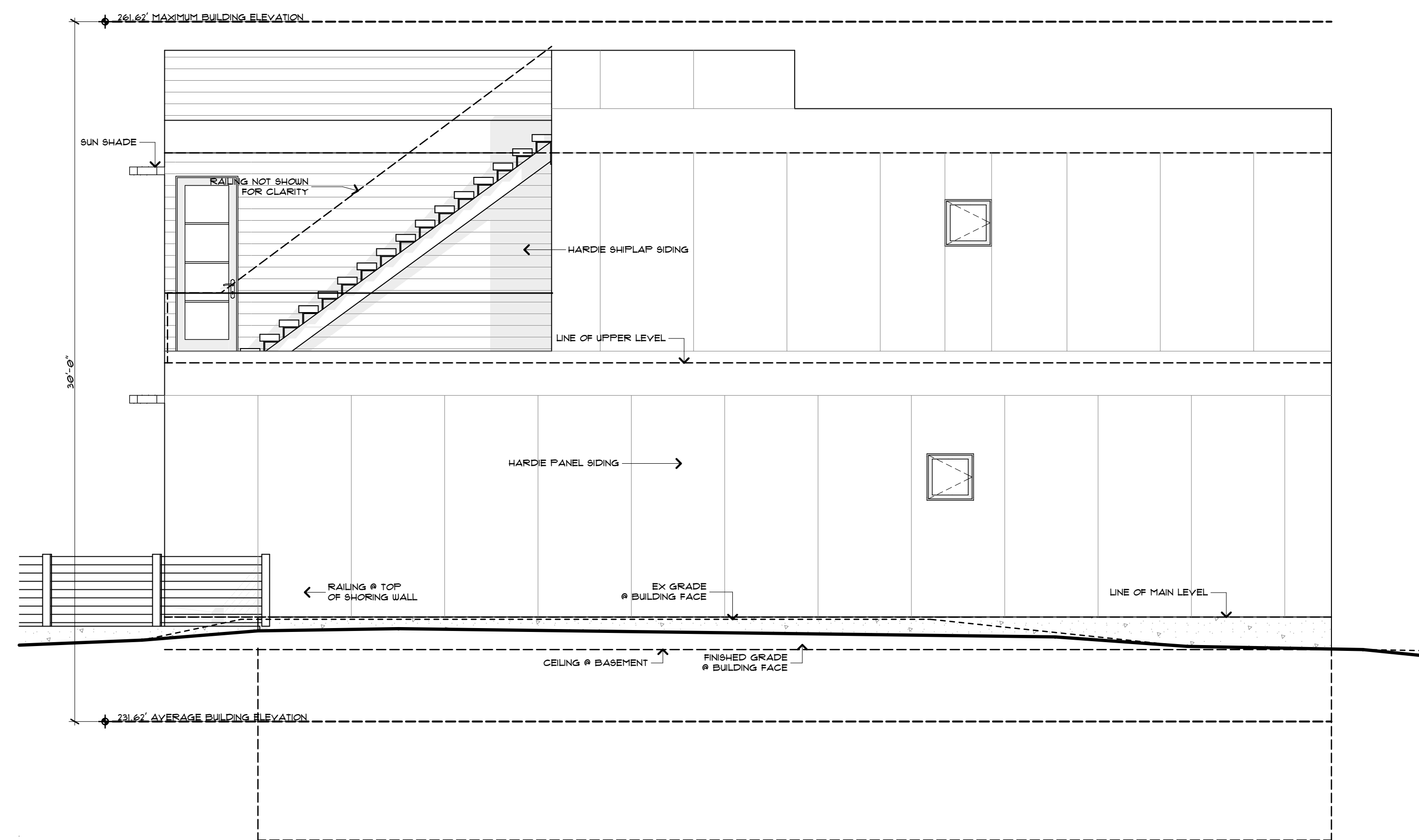
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

4

SCALE: 1/4" = 1'-0"



EAST ELEVATION

3

SCALE: 1/4" = 1'-0"

AVERAGE BUILDING ELEVATION CALCS:

| | |
|---------------------------------|---------------------------|
| SEGMENT "A" ELEVATION: | 226.47' |
| SEGMENT "A" LENGTH: | 35' |
| SEGMENT "A" ELEVATION x LENGTH: | 7,926.45 FT ² |
| SEGMENT "B" ELEVATION: | 231.25' |
| SEGMENT "B" LENGTH: | 46' |
| SEGMENT "B" ELEVATION x LENGTH: | 10,637.5 FT ² |
| SEGMENT "C" ELEVATION: | 231.50' |
| SEGMENT "C" LENGTH: | 35' |
| SEGMENT "C" ELEVATION x LENGTH: | 8,102.50 FT ² |
| SEGMENT "D" ELEVATION: | 236.00' |
| SEGMENT "D" LENGTH: | 46' |
| SEGMENT "D" ELEVATION x LENGTH: | 10,856.00 FT ² |
| TOTAL OF AGGREGATE ELEVATION: | 37,522.45' |
| TOTAL OF SEGMENT LENGTHS: | 162' |
| AVERAGE BUILDING ELEVATION: | 231.62' |



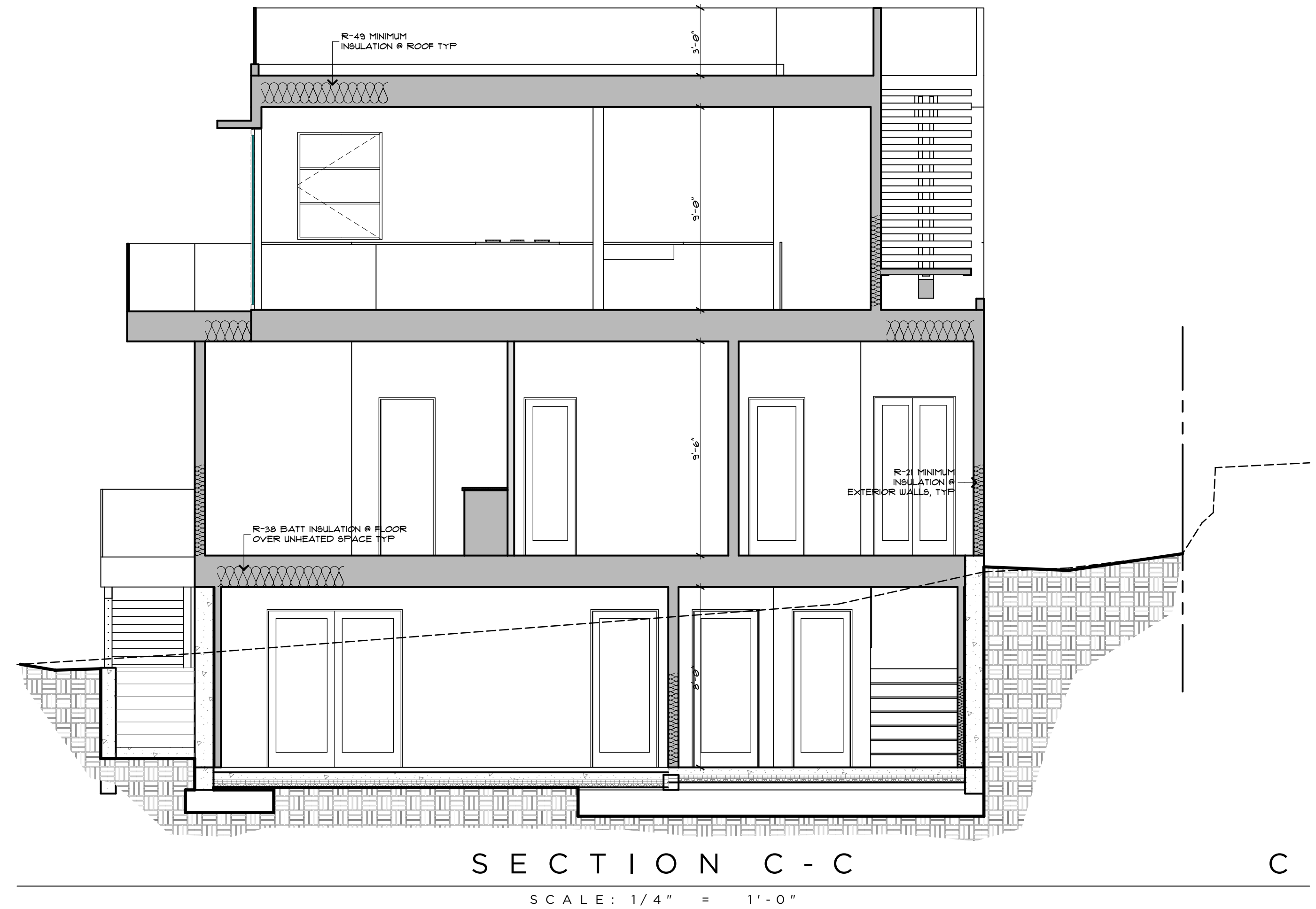
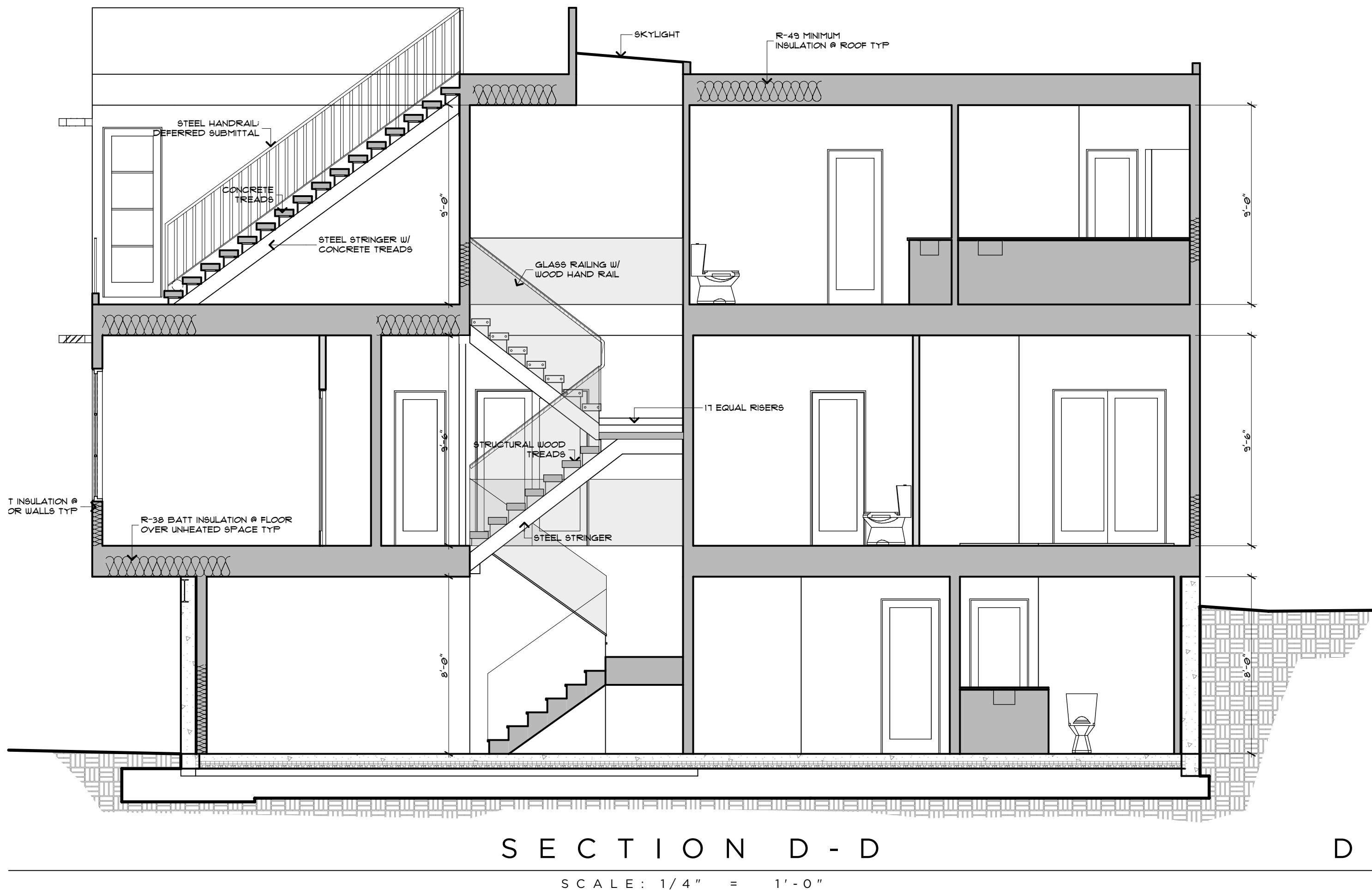
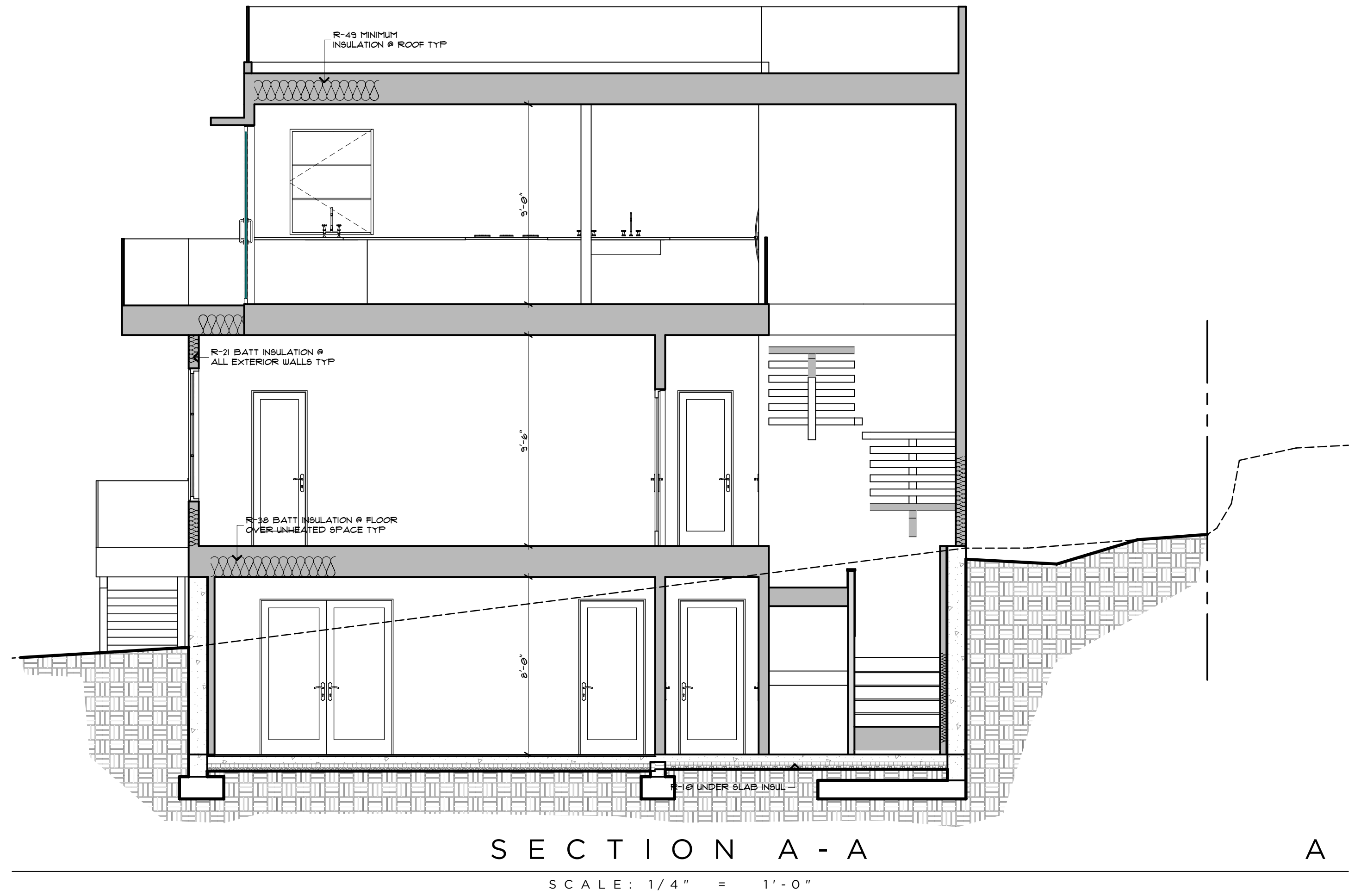
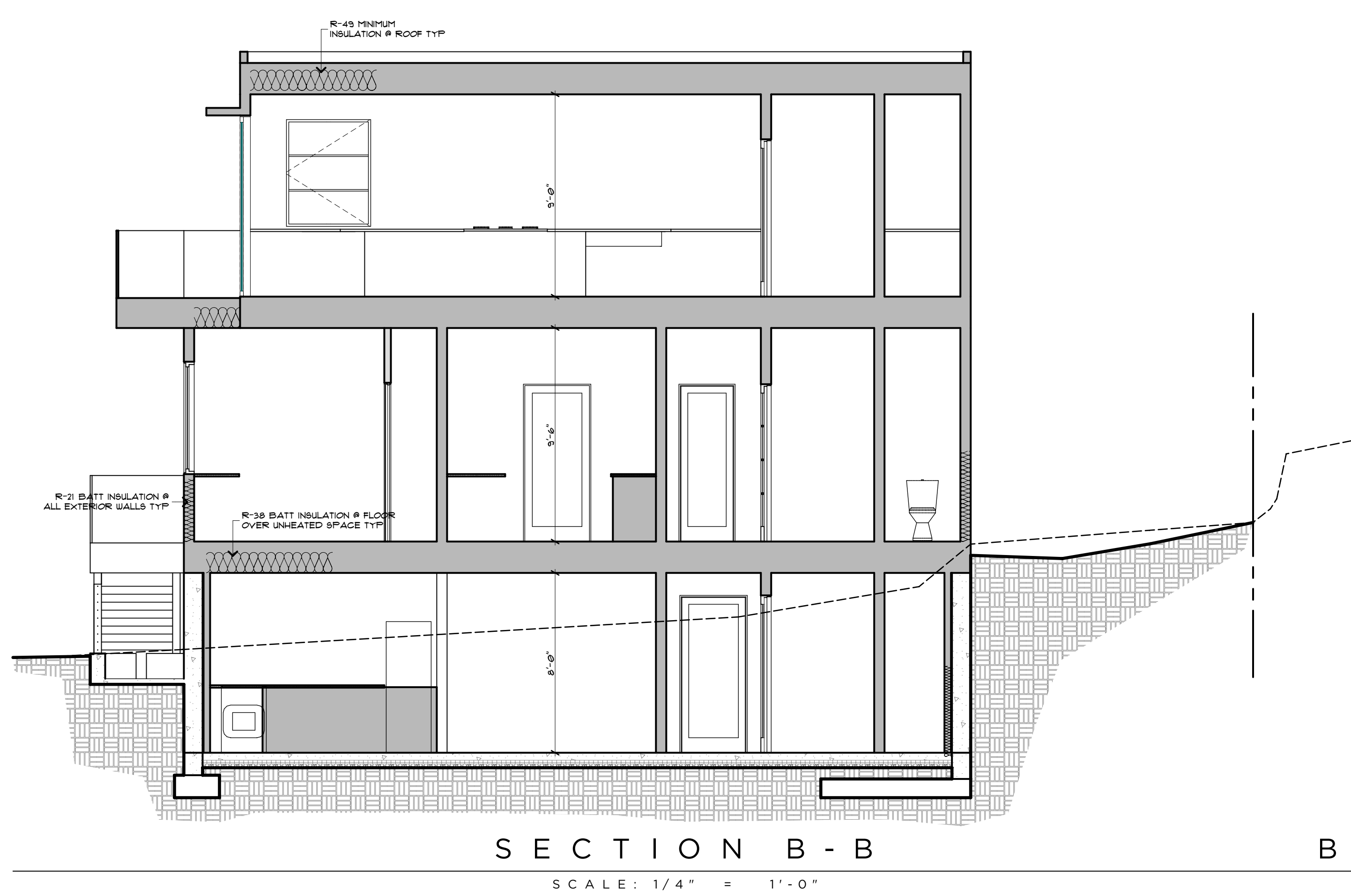
MERCER RESIDENCE
6950 SE MAKER ST MERCER ISLAND, WA

BUILDING ELEVATIONS

RELEASE
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023

A3.1

MAKER AVE
AUTUMN 2022 00574



MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

BUILDING SECTIONS

RELEASE
 2 APRIL 2022
 PERMIT CORRECTIONS
 20 FEBRUARY 2023

WSEC 2018 NOTES:

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DOOR SCHEDULE: (ALL GLAZING TO BE NFRC CERTIFIED)

| DOOR NO. | WIDTH | HEIGHT | TYPE | MATERIAL | FINISH | HARDWARE | NOTES / REMARKS |
|----------|--------|--------|----------|------------|---------|----------|--------------------------|
| 001A | 3'-0" | 7'-0" | ENTRY | CLAD WOOD | PAINTED | TBD | WITH 2'-0" SIDELIGHT |
| 001B | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 001C | 3'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | 20-MIN RATED, AUTO-CLOSE |
| 001D | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | LOCKING, ELEVATOR |
| 002A | 18'-0" | 7'-0" | OVERHEAD | WOOD | PAINTED | TBD | |
| 002B | 6'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 003A | 3'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | 20 MIN RATED, AUTO-CLOSE |
| 004A | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | LOCKING, 1-HR RATED |
| 005A | 3'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | LOCKING, 1-HR RATED |
| 005B | 4'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 005C | 9'-0" | 7'-0" | BI-FOLD | CLAD WOOD | PAINTED | TBD | 3-PANEL |
| 005C | 9'-0" | 8'-0" | BI-FOLD | CLAD WOOD | PAINTED | TBD | 3-PANEL, SAFETY GLAZING |
| 006A | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 101A | 2'-4" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 101B | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | ELEVATOR, LOCKING |
| 102A | 5'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | PAIR |
| 102B | 8'-0" | 7'-0" | SLIDER | CLAD WOOD | PAINTED | TBD | LOCKING, SAFETY GLAZING |
| 102C | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 103A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 104A | 2'-4" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 105A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 105B | 3'-6" | 7'-0" | BYPASS | WOOD | PAINTED | TBD | CLOSET |
| 106A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 106B | 4'-0" | 7'-0" | BI-FOLD | WOOD | PAINTED | TBD | |
| 106C | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 107A | 3'-0" | 7'-0" | POCKET | WOOD | PAINTED | TBD | |
| 108A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 108B | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 109A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 109B | 5'-0" | 7'-0" | BYPASS | WOOD | PAINTED | TBD | CLOSET |
| 110A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 110B | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 111A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 111B | 6'-0" | 8'-0" | SLIDER | CLAD WOOD | PAINTED | TBD | 2-PANEL, WITH SCREEN |
| 111C | 5'-0" | 7'-0" | BYPASS | WOOD | PAINTED | TBD | CLOSET |
| 202A | 12'-0" | 8'-0" | BI-FOLD | CLAD WOOD | PAINTED | TBD | 4-PANEL, SAFETY GLAZING |
| 202B | 2'-8" | 7'-8" | SWING | WOOD/GLASS | PAINTED | TBD | SAFETY GLAZING |
| 204A | 2'-8" | 7'-0" | SWING | WOOD | PAINTED | TBD | ELEVATOR, LOCKING |
| 204A | 16'-4" | 8'-0" | BI-FOLD | CLAD WOOD | PAINTED | TBD | 6-PANEL, SAFETY GLAZING |
| 204B | 11'-0" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 204B | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 206A | 2'-6" | 7'-0" | SWING | WOOD | PAINTED | TBD | |
| 207A | 2'-4" | 7'-0" | POCKET | WOOD | PAINTED | TBD | |

WINDOW SCHEDULE: (ALL GLAZING TO BE NFRC CERTIFIED)

| WINDOW NO. | WIDTH | HEIGHT | HEADER | TYPE | MATERIAL | FINISH | NOTES / REMARKS |
|------------|-------|--------|--------|----------|-----------|---------|-----------------|
| 102A | 9'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | TRIPLE, EGRESS |
| 103A | 3'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | |
| 103B | 6'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | PAIR |
| 103C | 3'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | |
| 103D | 2'-0" | 2'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | |
| 105A | 9'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | TRIPLE, EGRESS |
| 106A | 6'-0" | 5'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | PAIR |
| 108A | 2'-0" | 2'-0" | 7'-0" | CASEMENT | CLAD WOOD | PAINTED | |
| 109A | 6'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | PAIR, EGRESS |
| 111A | 6'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | PAIR |
| 202A | 3'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | |
| 202B | 5'-0" | 6'-0" | 8'-0" | CASEMENT | CLAD WOOD | PAINTED | PAIR |
| 205A | 4'-0" | 5'-0" | 8'-0" | FIXED | CLAD WOOD | PAINTED | |
| 206A | 2'-0" | 2'-0" | 7'-0" | CASEMENT | CLAD WOOD | PAINTED | |

NANAWALL SYSTEM CPD INFO

| CPD # | U-factor | SHGC | VT | Condensation Resistance | Air Leakage | Ventilation Rating (Standard Screen) | Ventilation Rating (Enhanced Screen) | | | |
|---------------------|---|-----------------|----------------|-------------------------|-------------|--------------------------------------|--------------------------------------|------|---------|------|
| NAN-M-1-03122-00001 | 0.30 | 0.21 | 0.39 | 59 | | | | | | |
| Group ID | Manufacturer Product Code | Frame/Sash Type | Glazing Layers | Low-E | Gap Widths | Spacer | Gap Fill | Grid | Divider | Tint |
| 1 | *Outswing-Floor Mounted-Flush Sill: SKN 165 / Arg / Clear - 1" (1/4"-5/32") | WAWA | 2 | 0.019(2) | 0.625 | TP-D | Fill 1: ARG/AIR(90/10) | N | - | CL |

PELLA SLIDING DOOR CPD INFO

| CPD # | U-factor | SHGC | VT | Condensation Resistance | Air Leakage | Ventilation Rating (Standard Screen) | Ventilation Rating (Enhanced Screen) | | | |
|-----------------------|----------------------------------|-----------------|----------------|-------------------------|-------------|--------------------------------------|--------------------------------------|------|---------|------|
| PEL-N-237-00945-00001 | 0.28 | 0.17 | 0.39 | 57 | | | | | | |
| Group ID | Manufacturer Product Code | Frame/Sash Type | Glazing Layers | Low-E | Gap Widths | Spacer | Gap Fill | Grid | Divider | Tint |
| 1 | *Pine - 3mm 366 Arg 3mm - 13/16" | WAWA | 2 | 0.02(2) | 0.58 | SS-D | Fill 1: ARG/AIR(90/10) | N | - | CL |

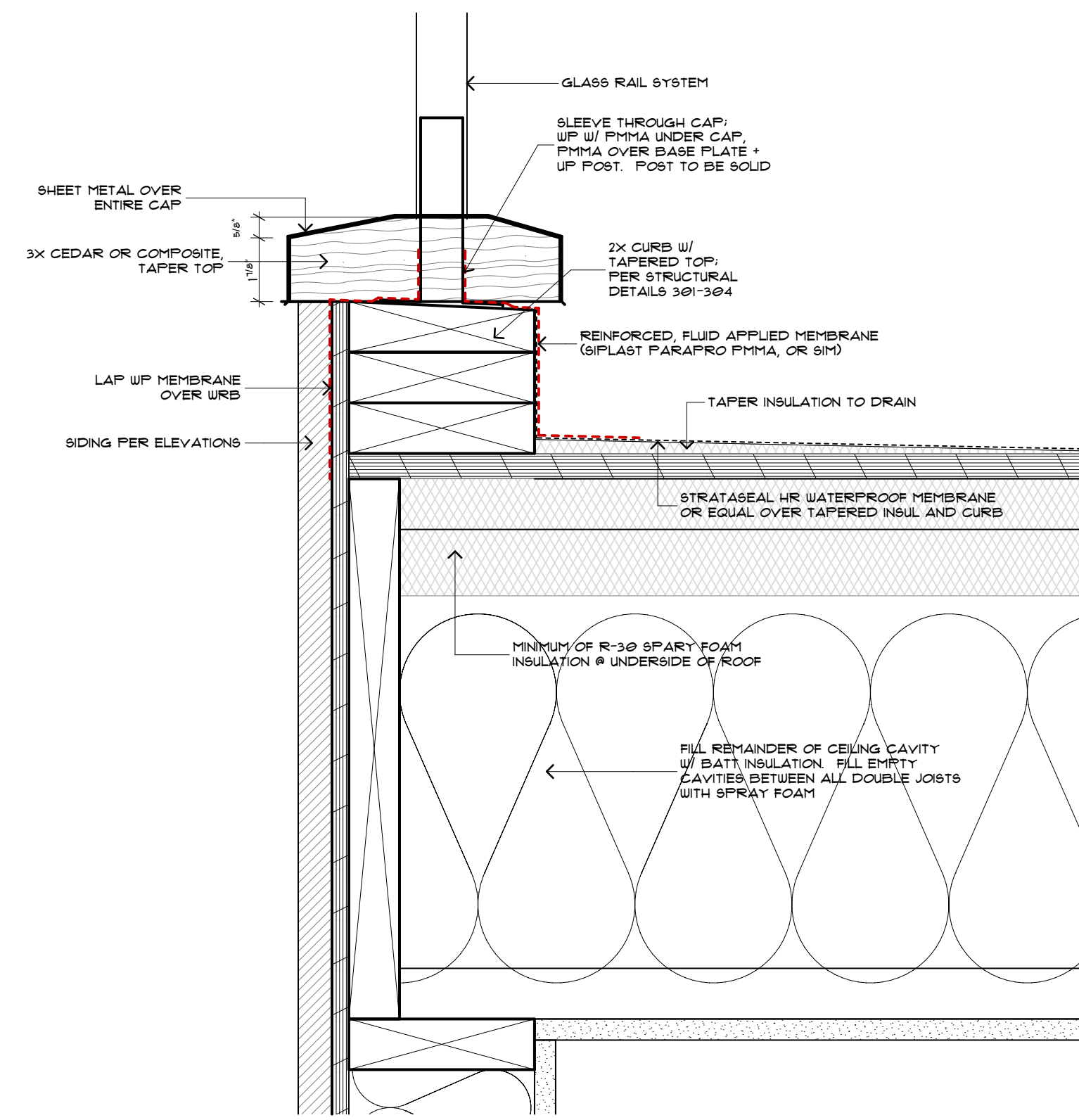


MERCER RESIDENCE
6050 SE MAKER ST MERCER ISLAND, WA

DOOR + WINDOW SCHEDULES

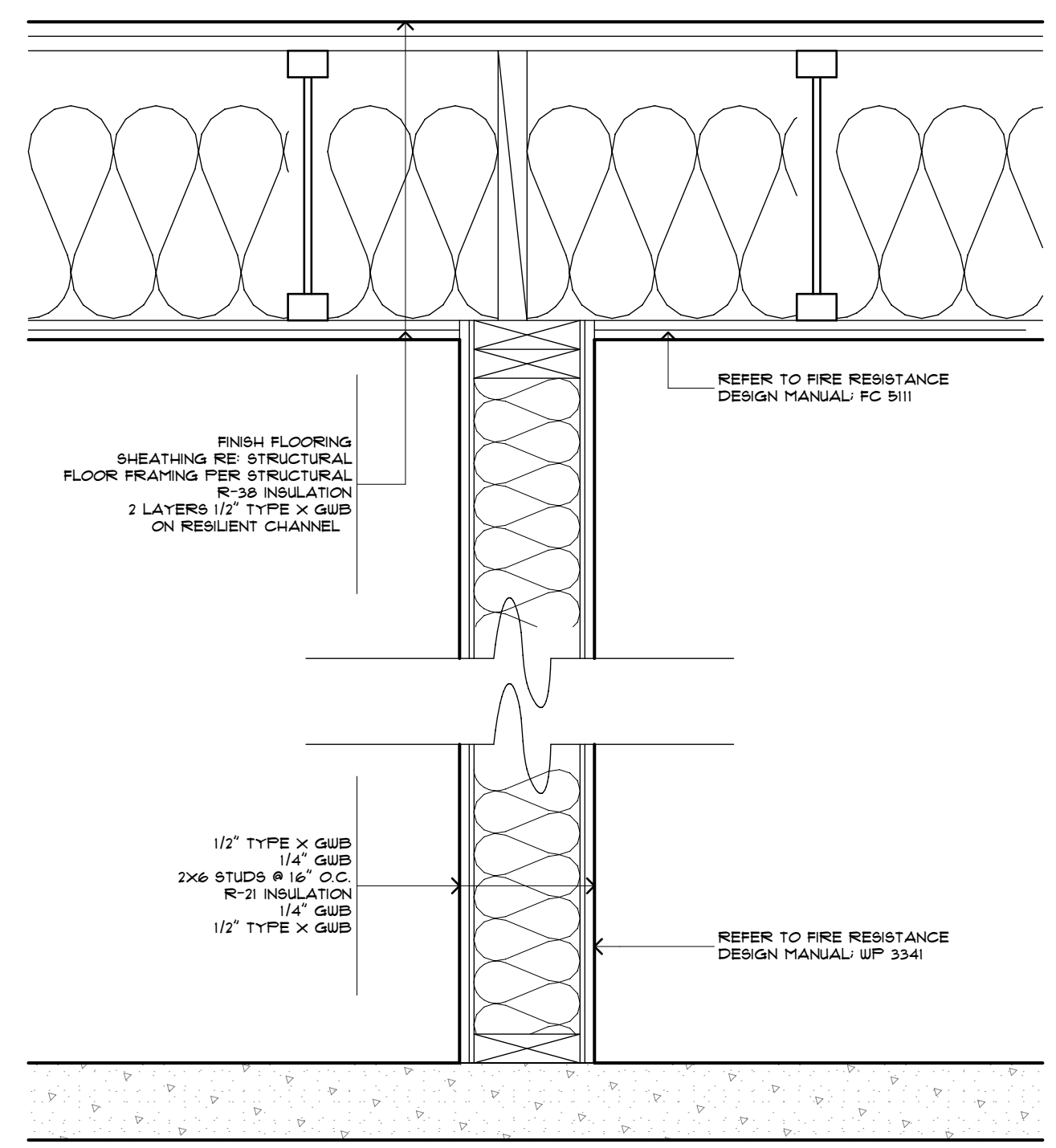
RELEASE
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023

A 4 . 1



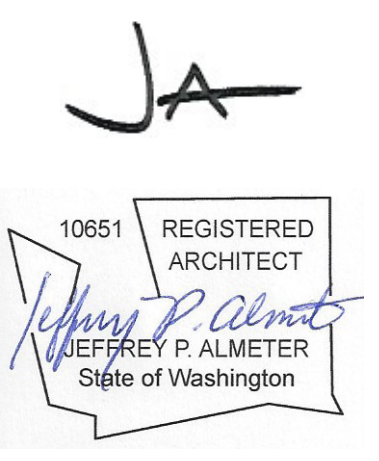
DECK DETAIL

SCALE: 3" = 1'-0"



ADU SEPARATION DETAILS

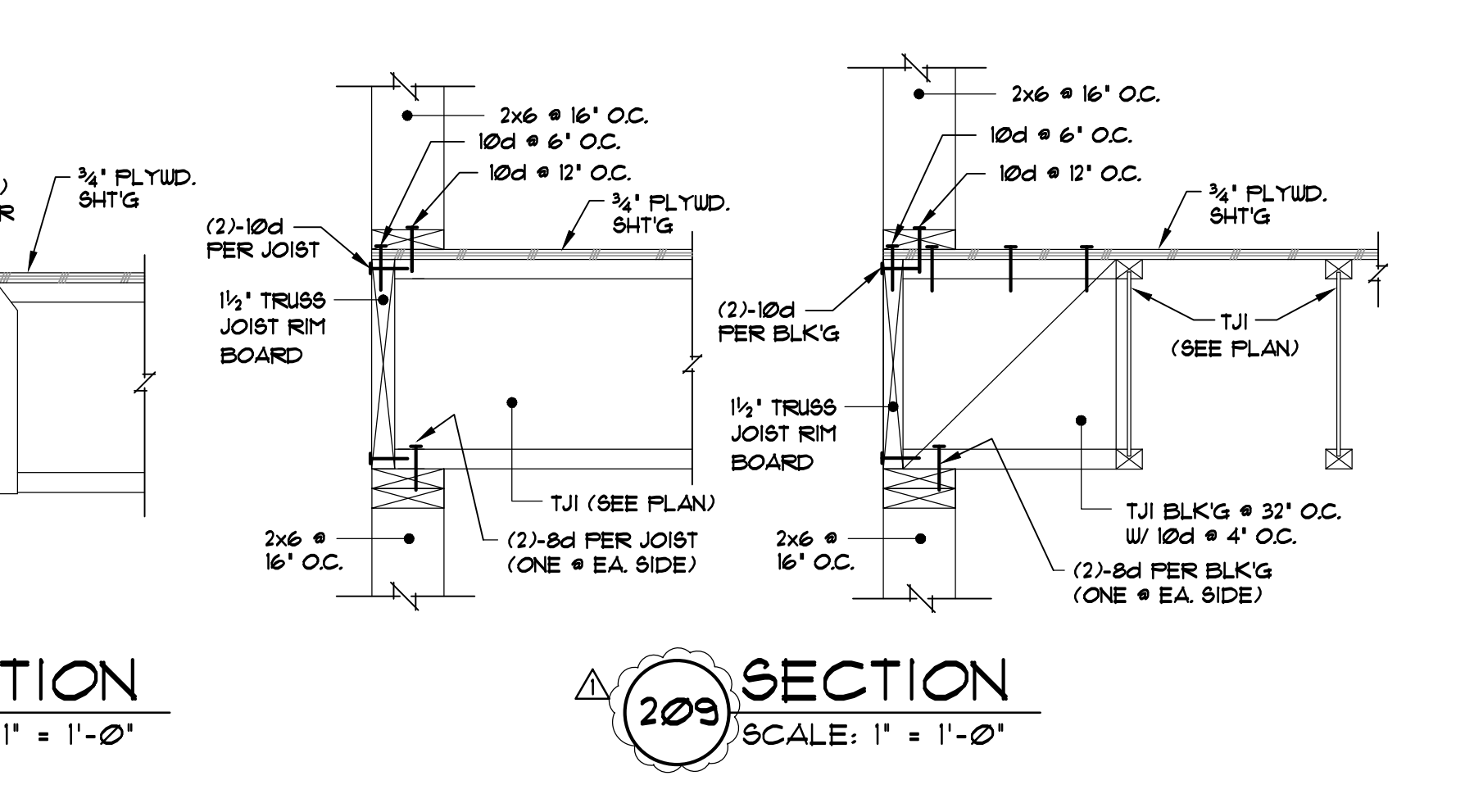
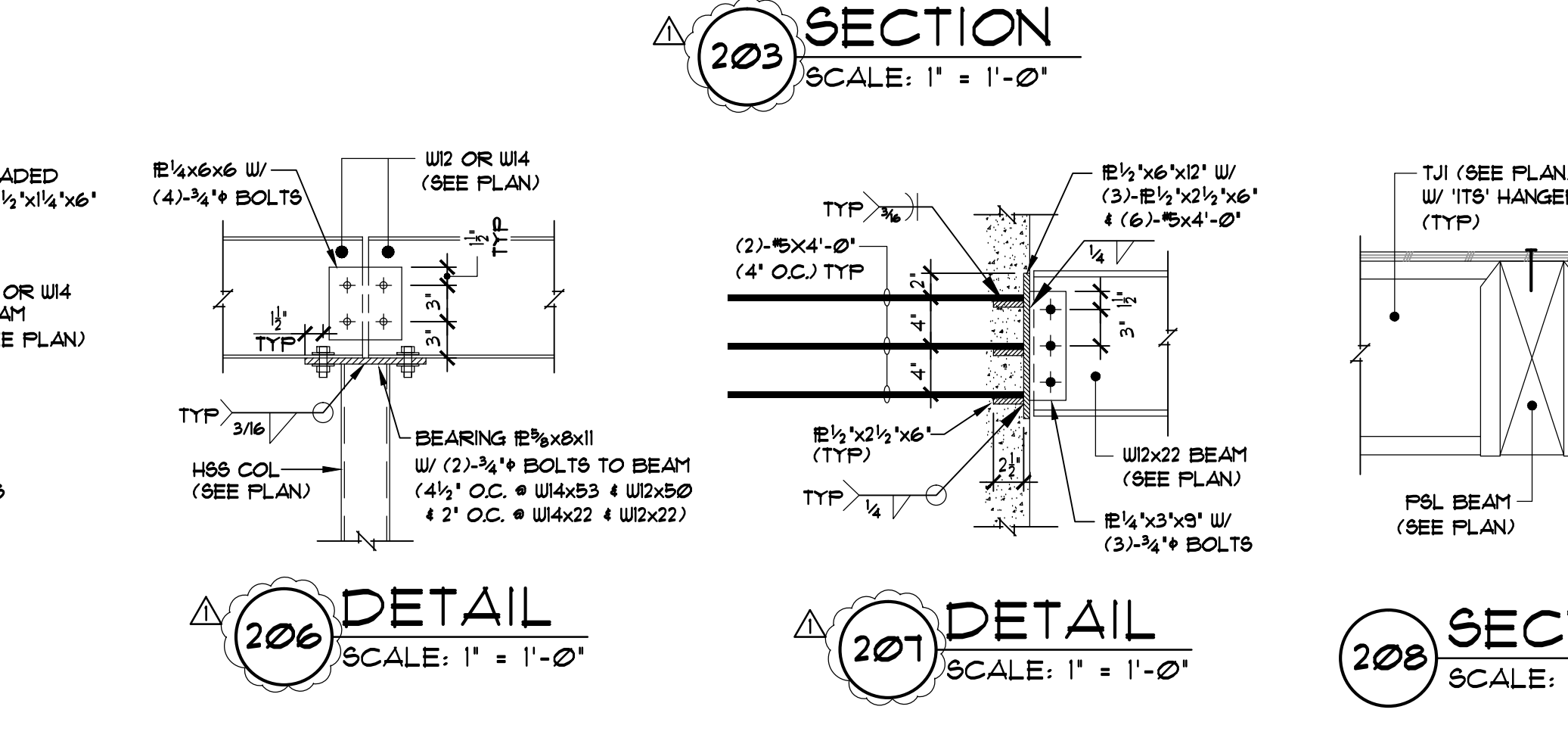
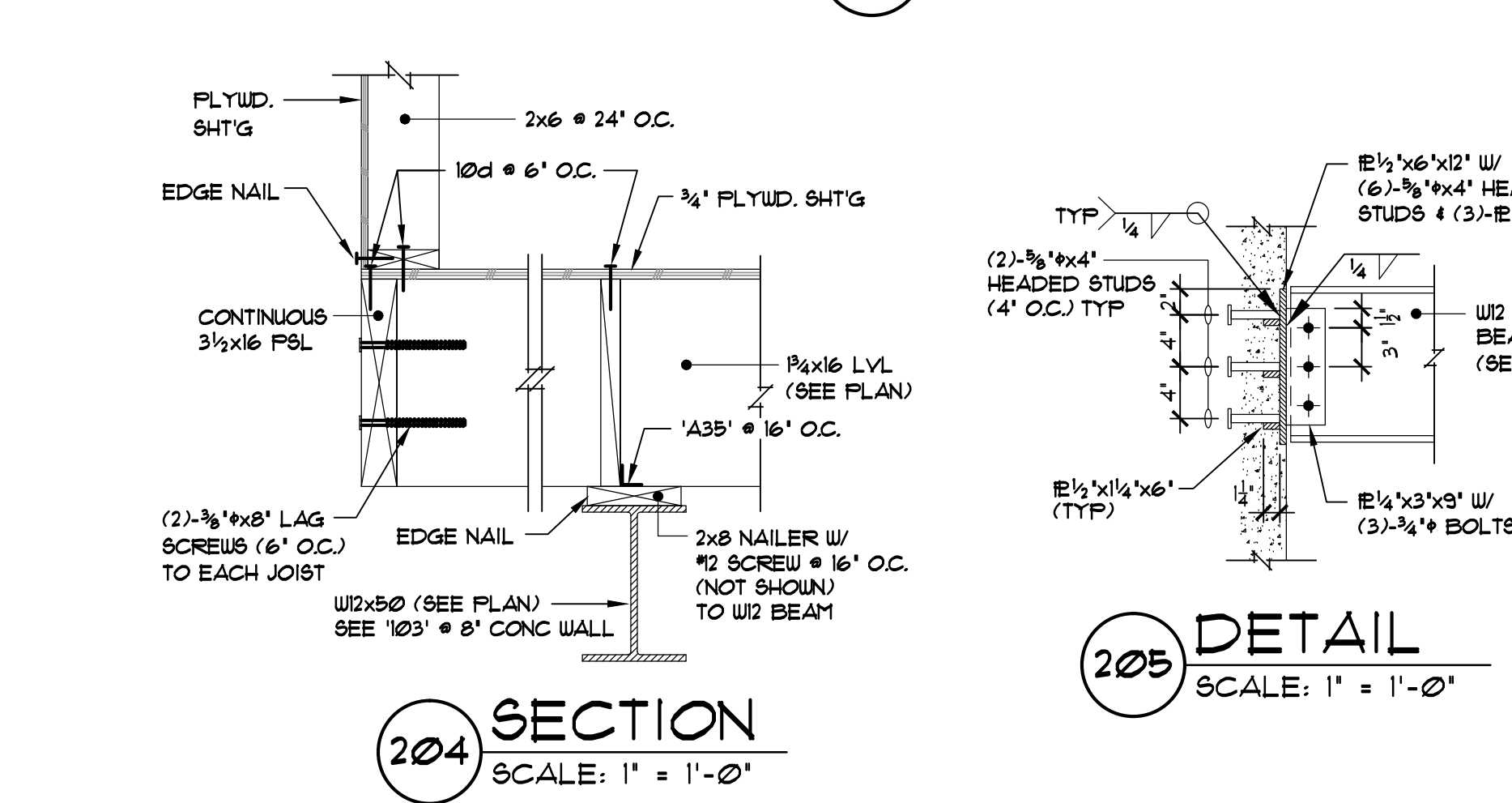
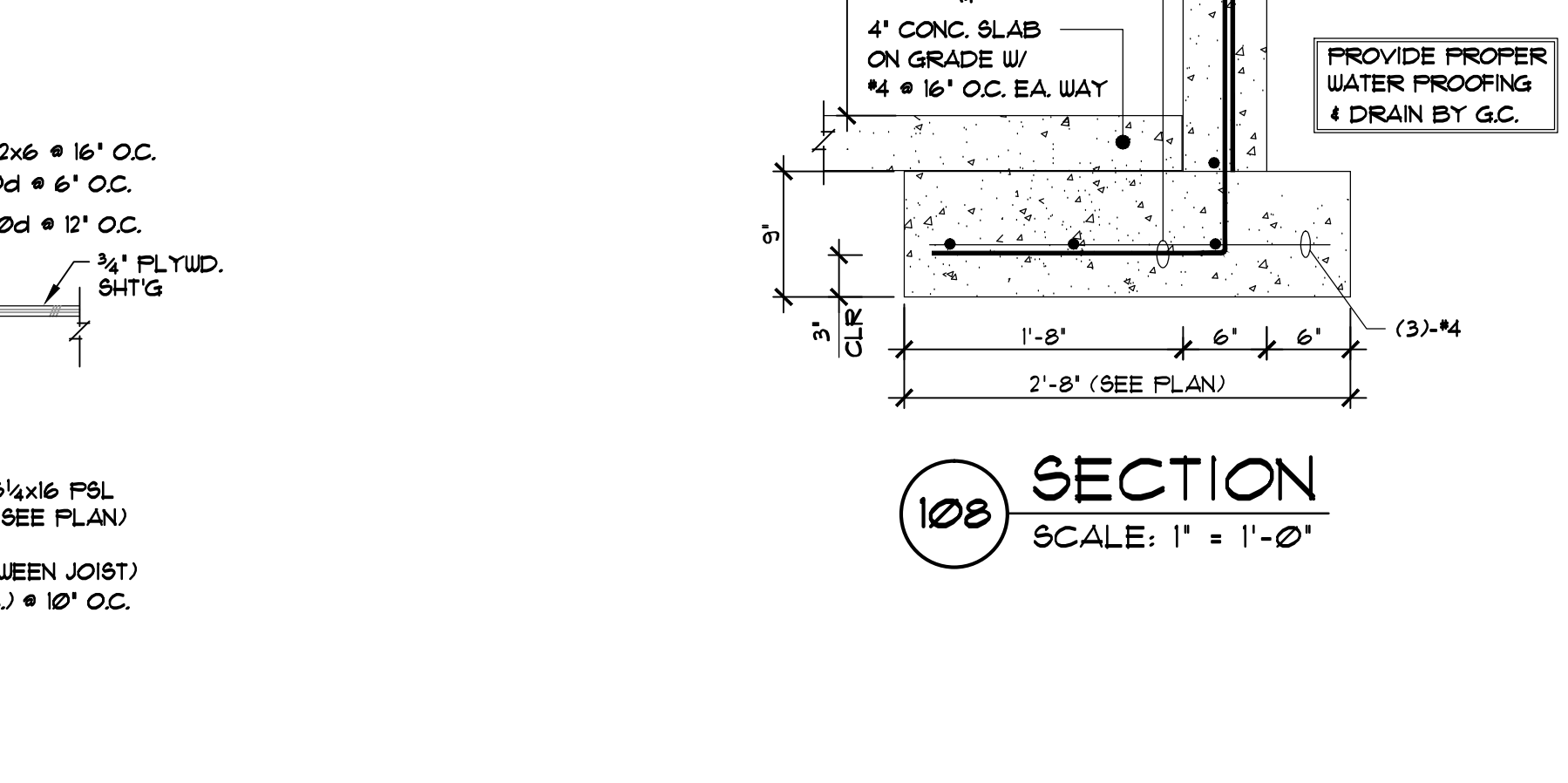
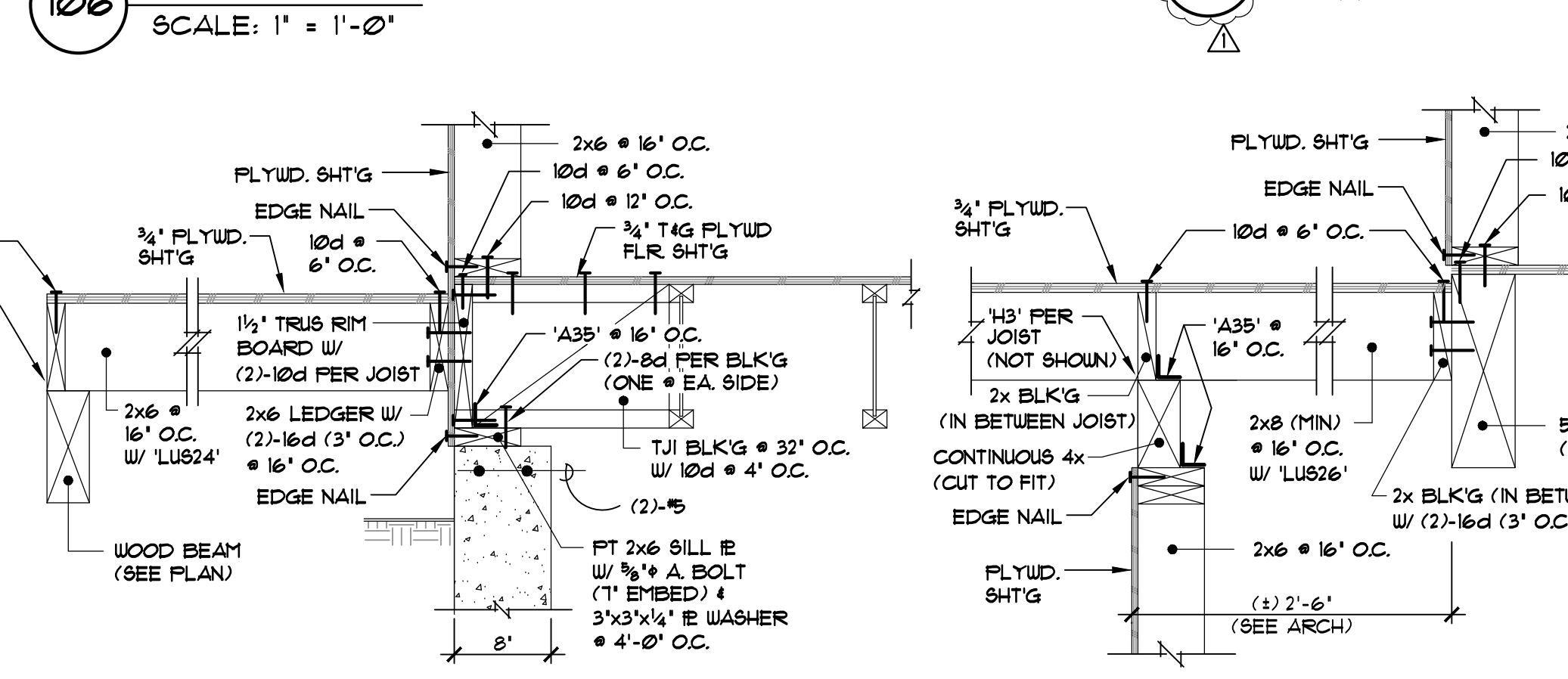
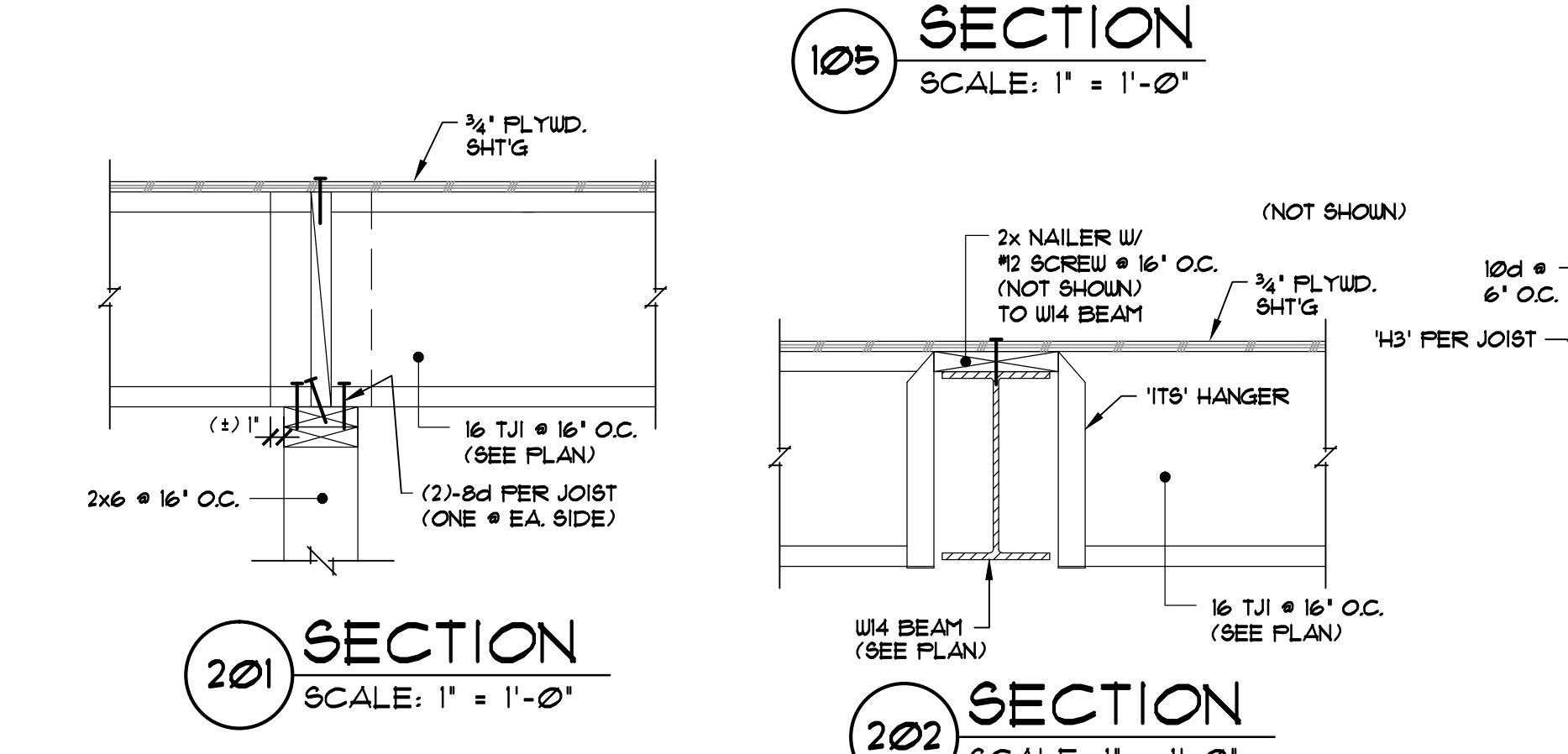
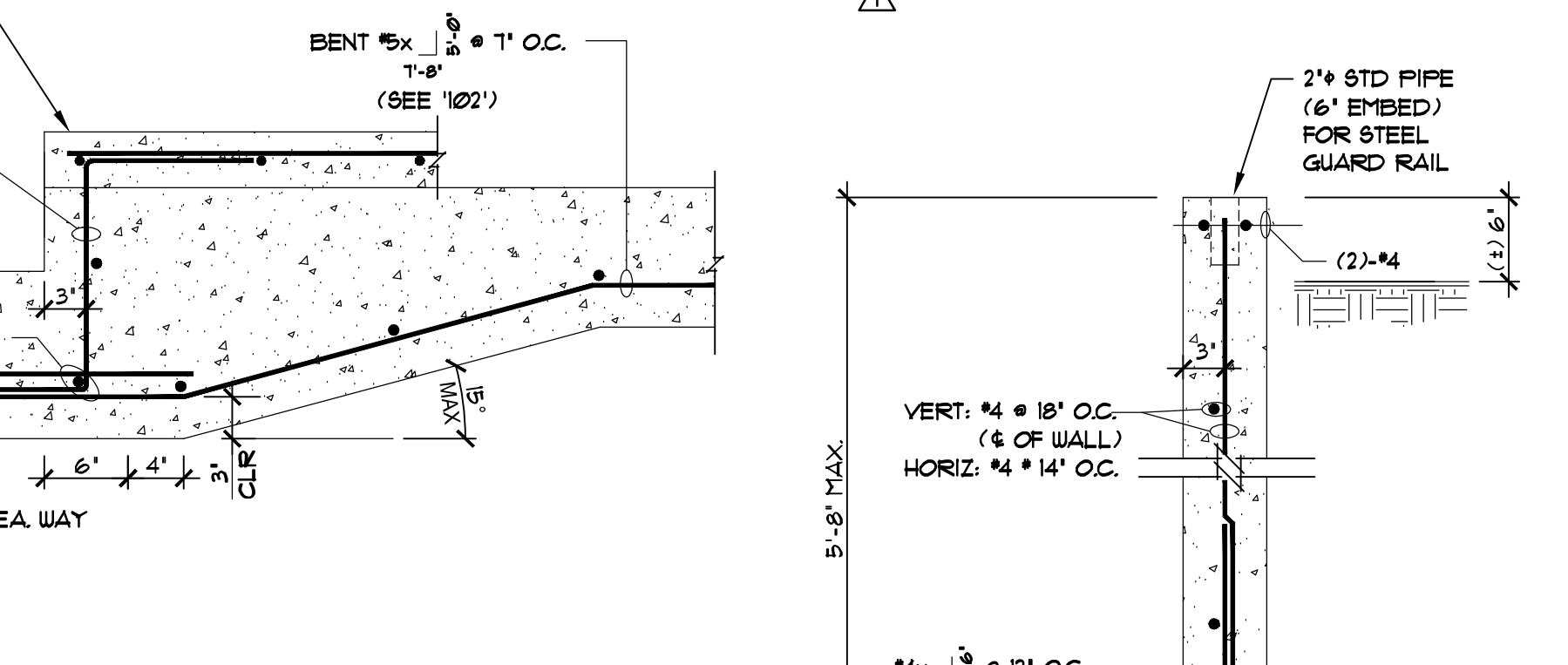
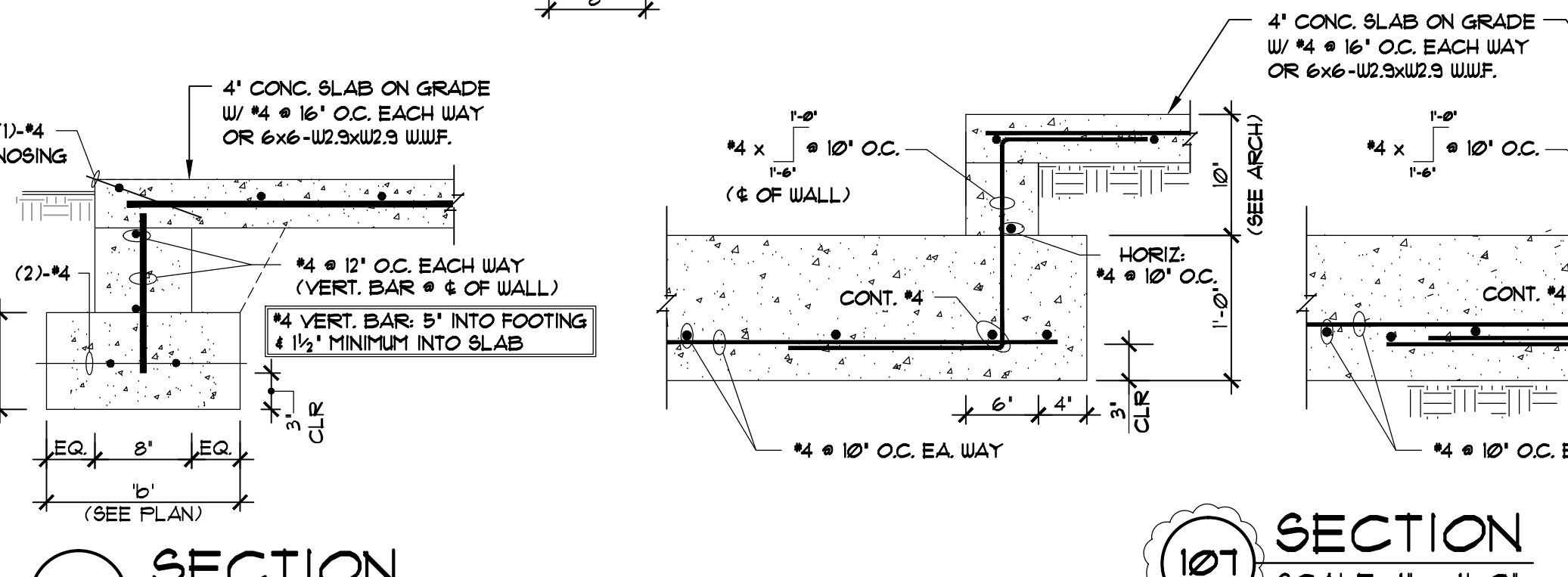
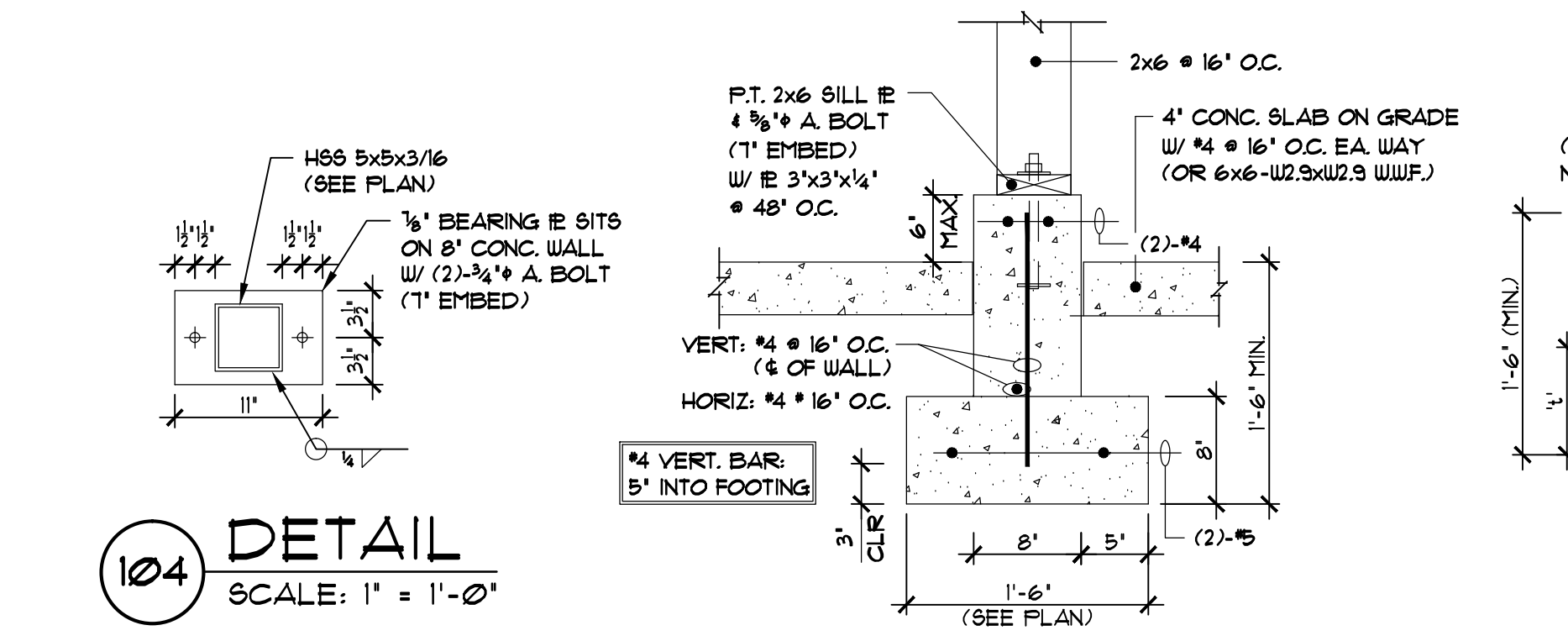
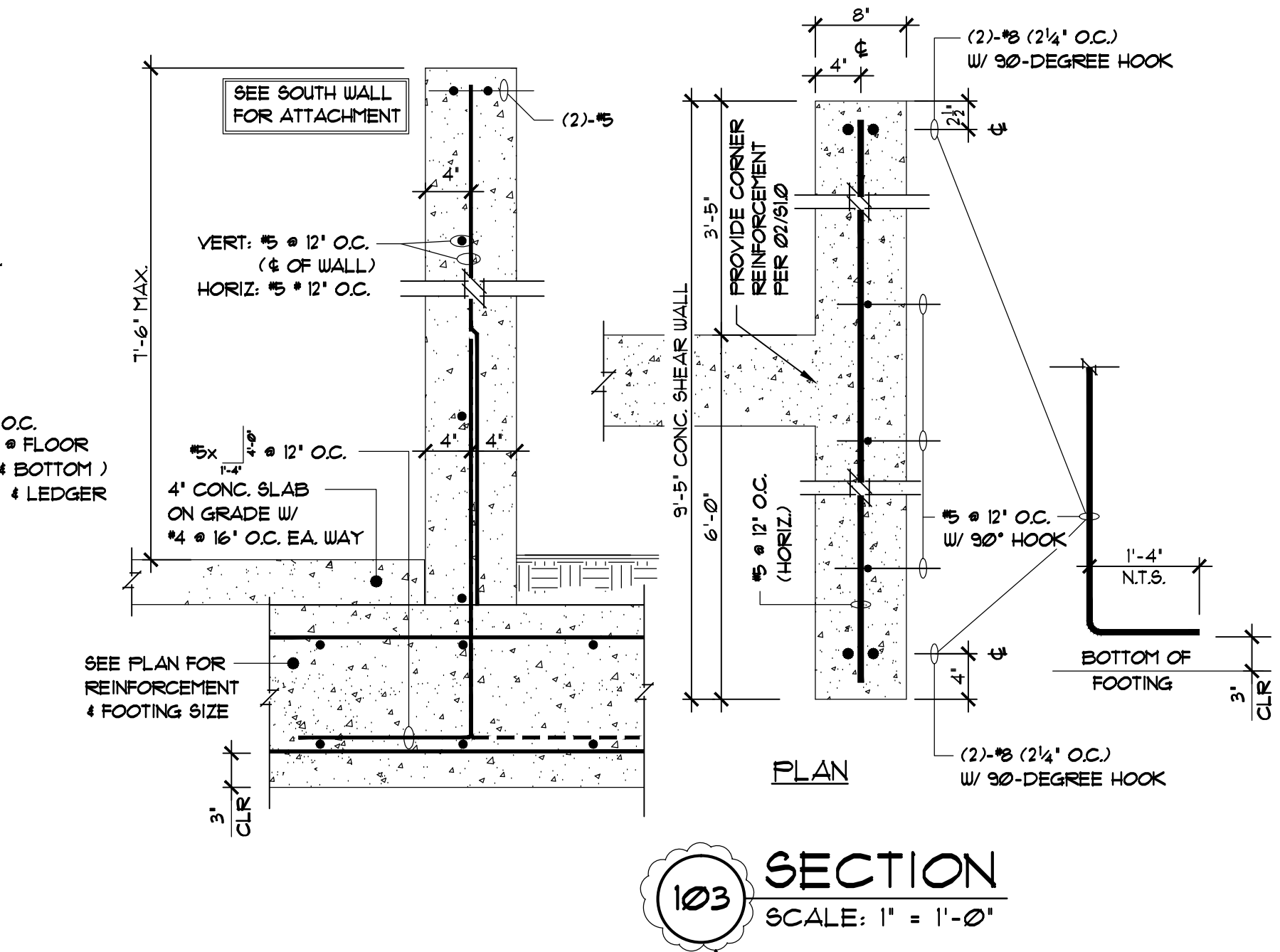
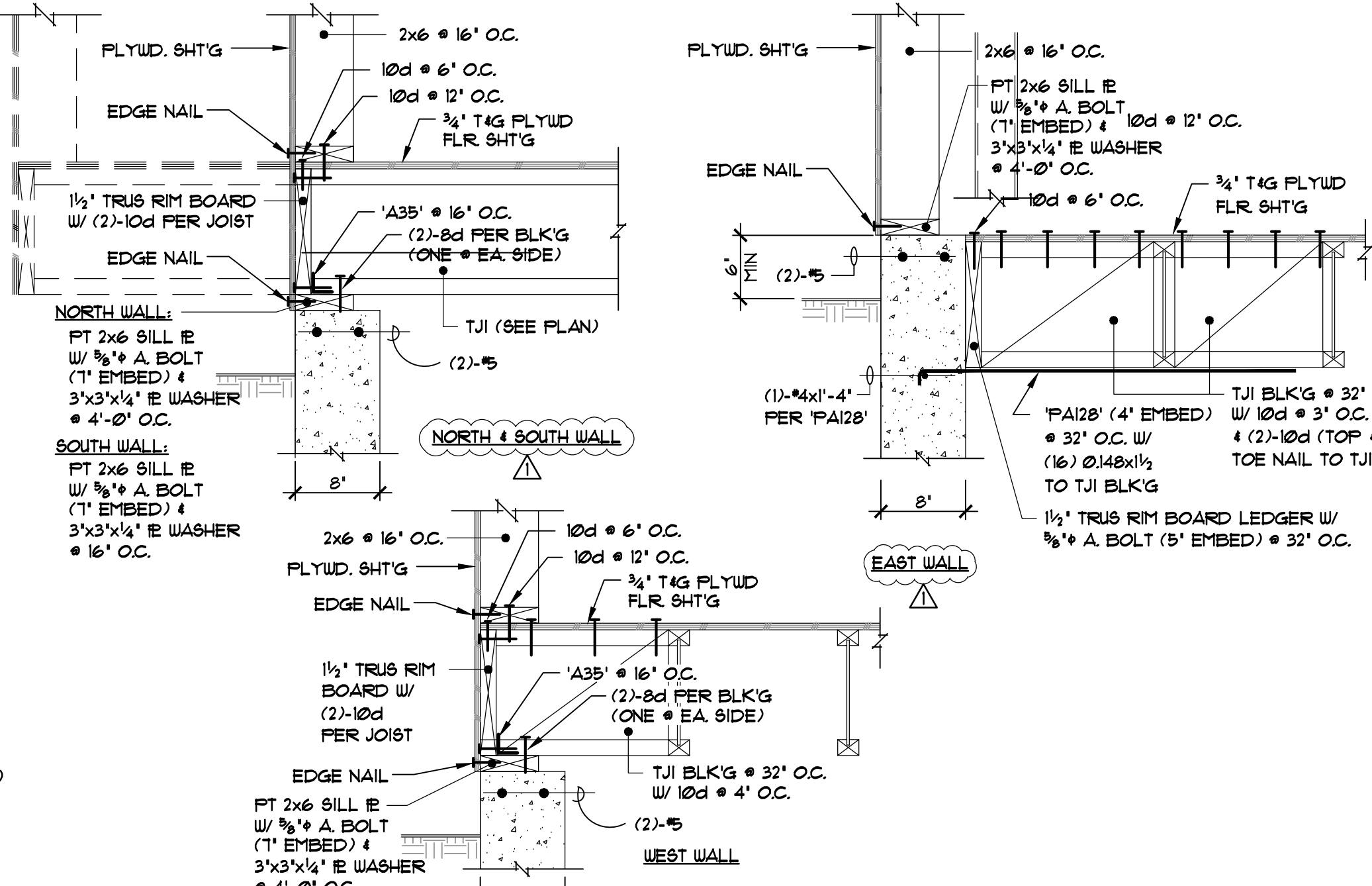
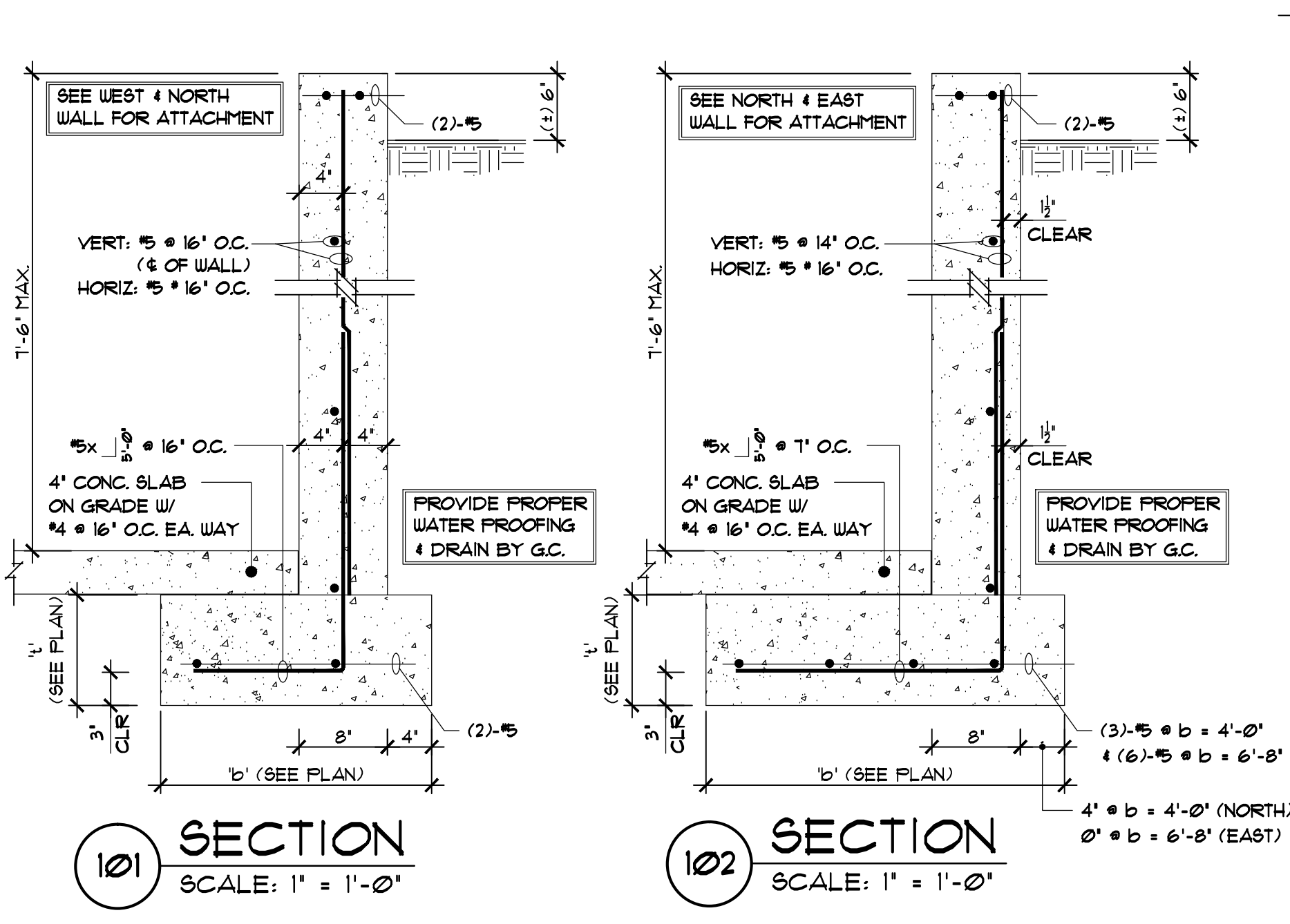
SCALE: 1 1/2" = 1'-0"



MERCER RESIDENCE
6950 SE MAKER ST
MERCER ISLAND, WA

DETAILS

RELEASE
21 MARCH 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023



REVISIONS:

| NO. | DATE | DESCRIPTIONS |
|-----|----------|--------------|
| 1 | 2/2/2023 | CORRECTIONS |
| | | |
| | | |
| | | |

D.S Engineering
Consulting Structural Engineers
3121 147th Place SE
Mill Creek, WA 98012
T: 425-338-4776

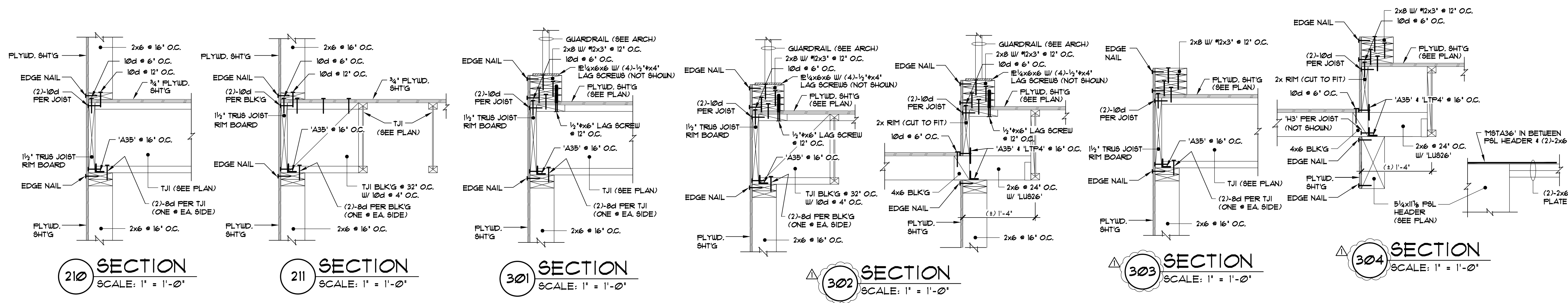
06/22/2022

PROJECT:
MERCER RESIDENCE
6950 SE MAKER STREET
MERCER ISLAND, WA 98040

DATE: June 22, 2022
SCALE: SEE PLAN
JOB NO.: 22-300
DRAWN: D.S.
CHECK: D.S.

SHEET TITLE
SECTIONS & DETAILS

SHEET
S1.1

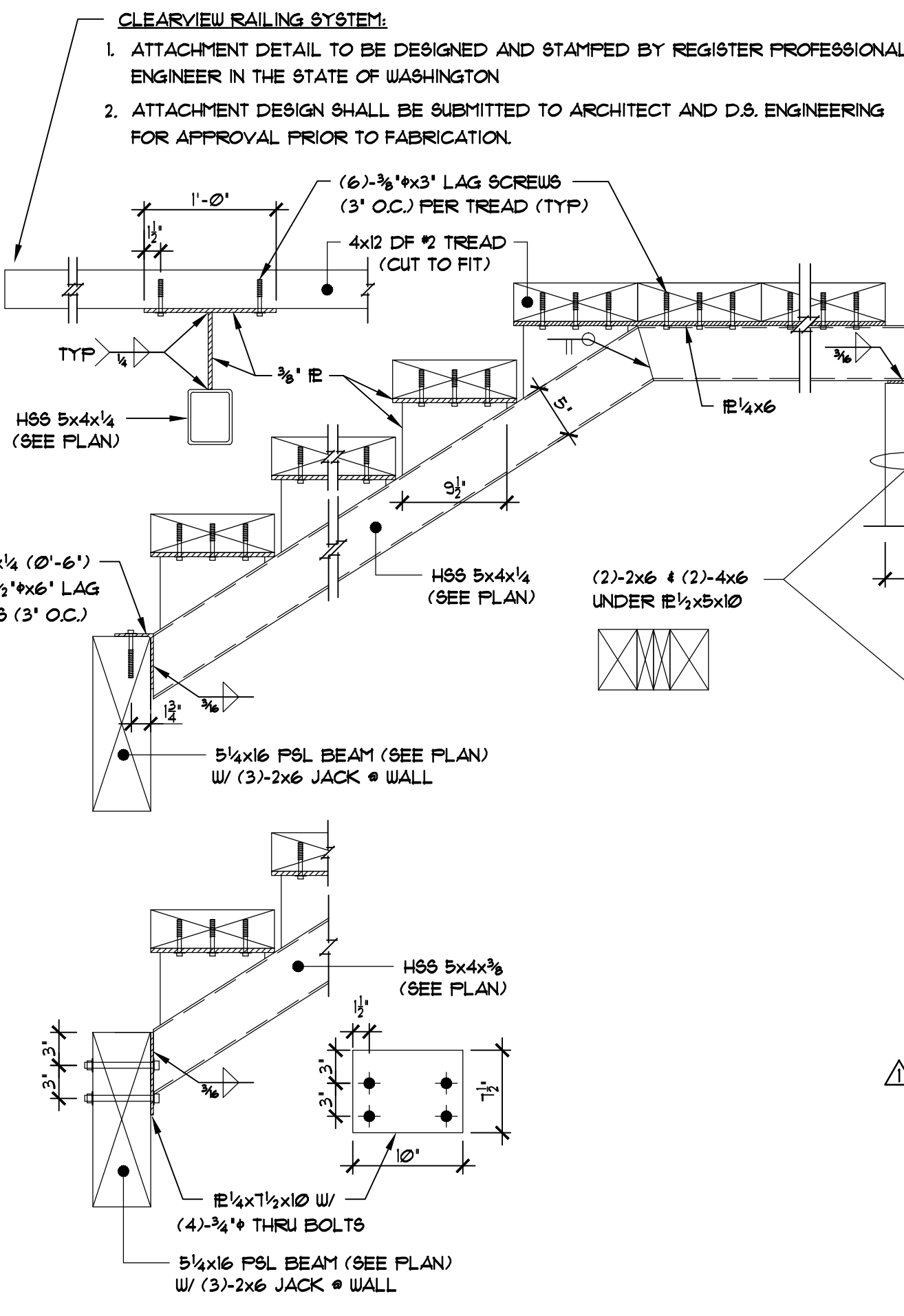


REVISIONS:

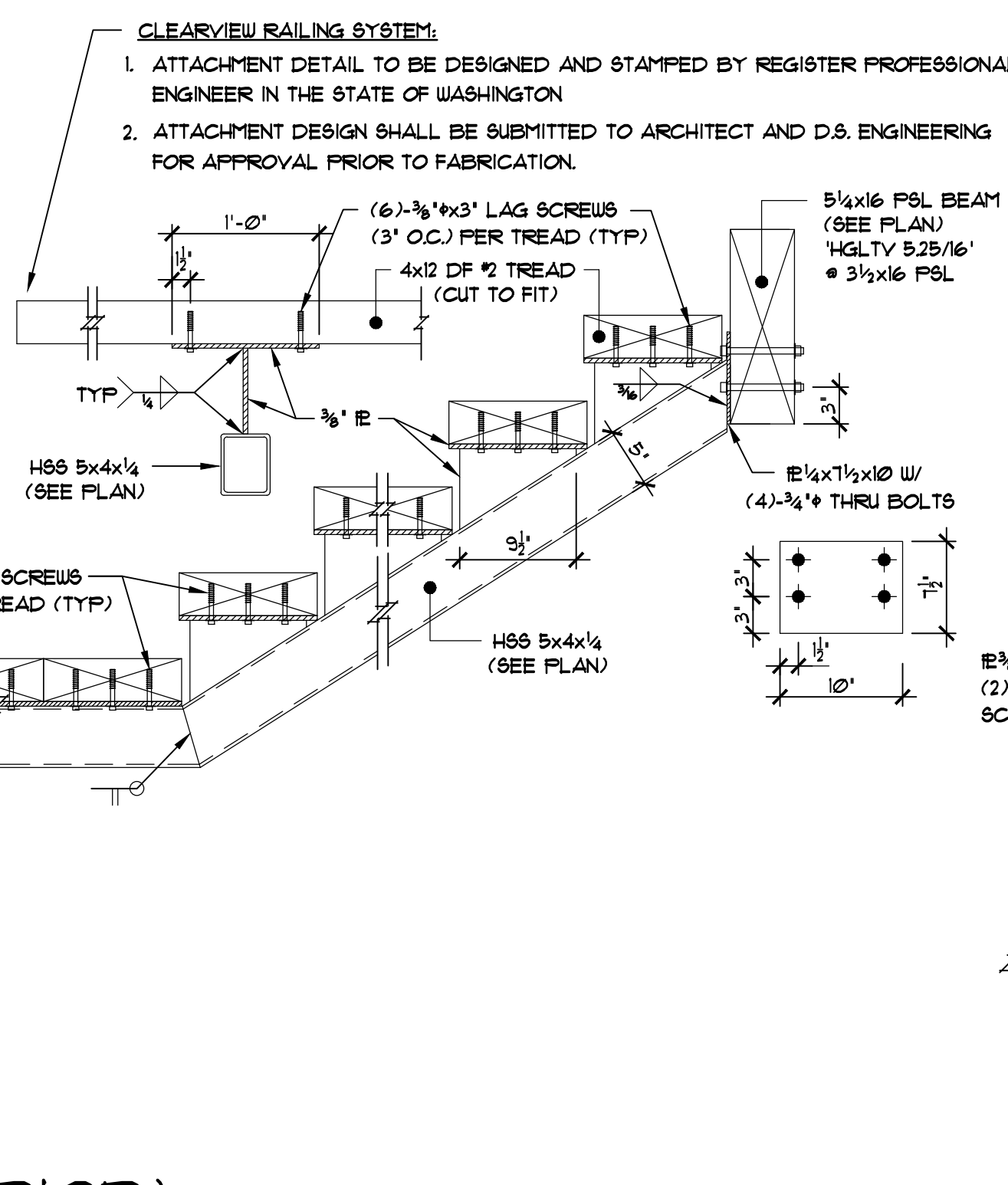
| NO. | DATE | DESCRIPTIONS |
|-----|----------|--------------|
| 1 | 2/2/2023 | CORRECTIONS |
| | | |
| | | |
| | | |

D.S. Engineering
 Consulting Structural Engineers
 3121 147th Place SE
 Mill Creek, WA 98012
 T: 425-338-4776

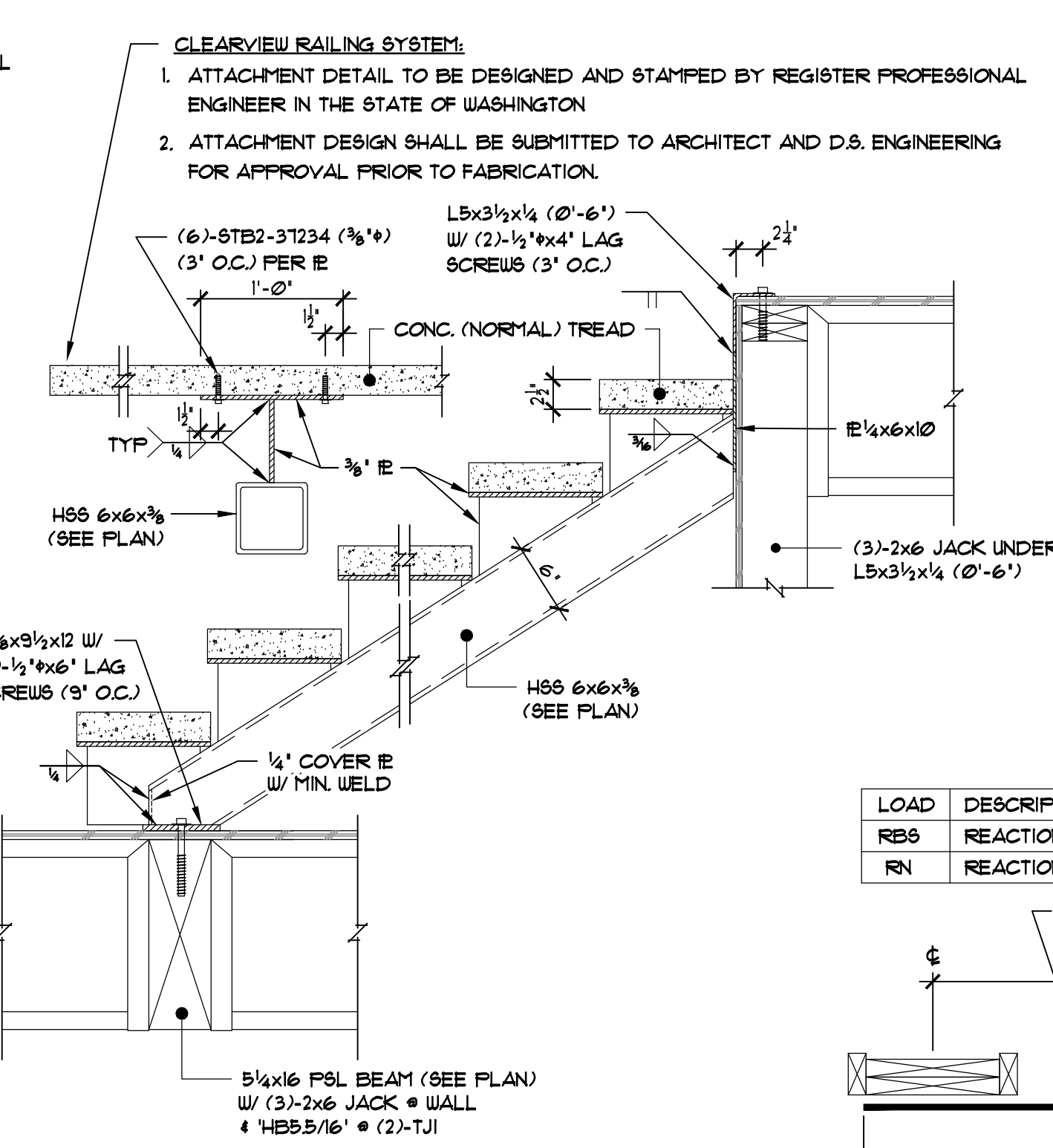
06/22/2022



STAIR (INTERIOR)
 SCALE: 1" = 1'-0"

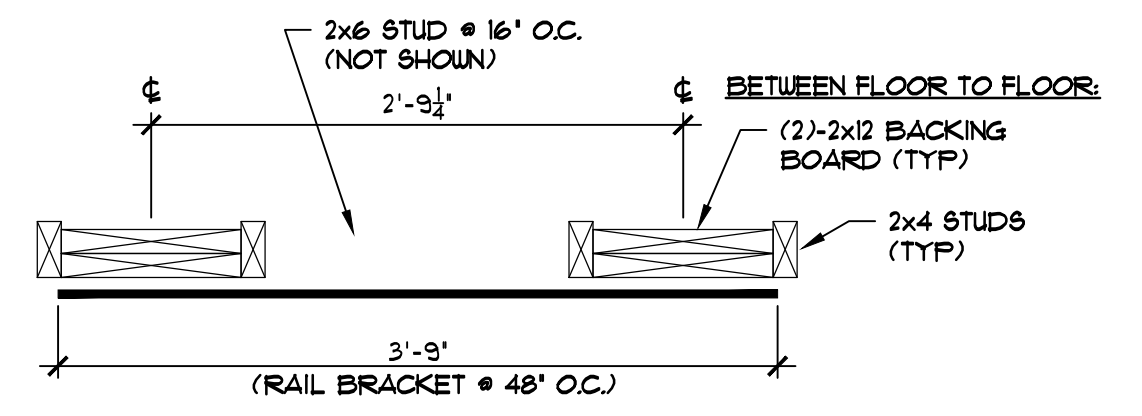


STAIR (EXTERIOR)
 SCALE: 1" = 1'-0"



ATTCHMENT @ ELEVATOR
 SCALE: 1" = 1'-0"

| LOAD | DESCRIPTION | Lbf |
|------|---|---------|
| RBS | REACTION TO BUFFER OR SAFETY ENGAGEMENT | 4,671 • |
| RN | REACTION DUE TO NORMAL OPERATION | 7,886 • |

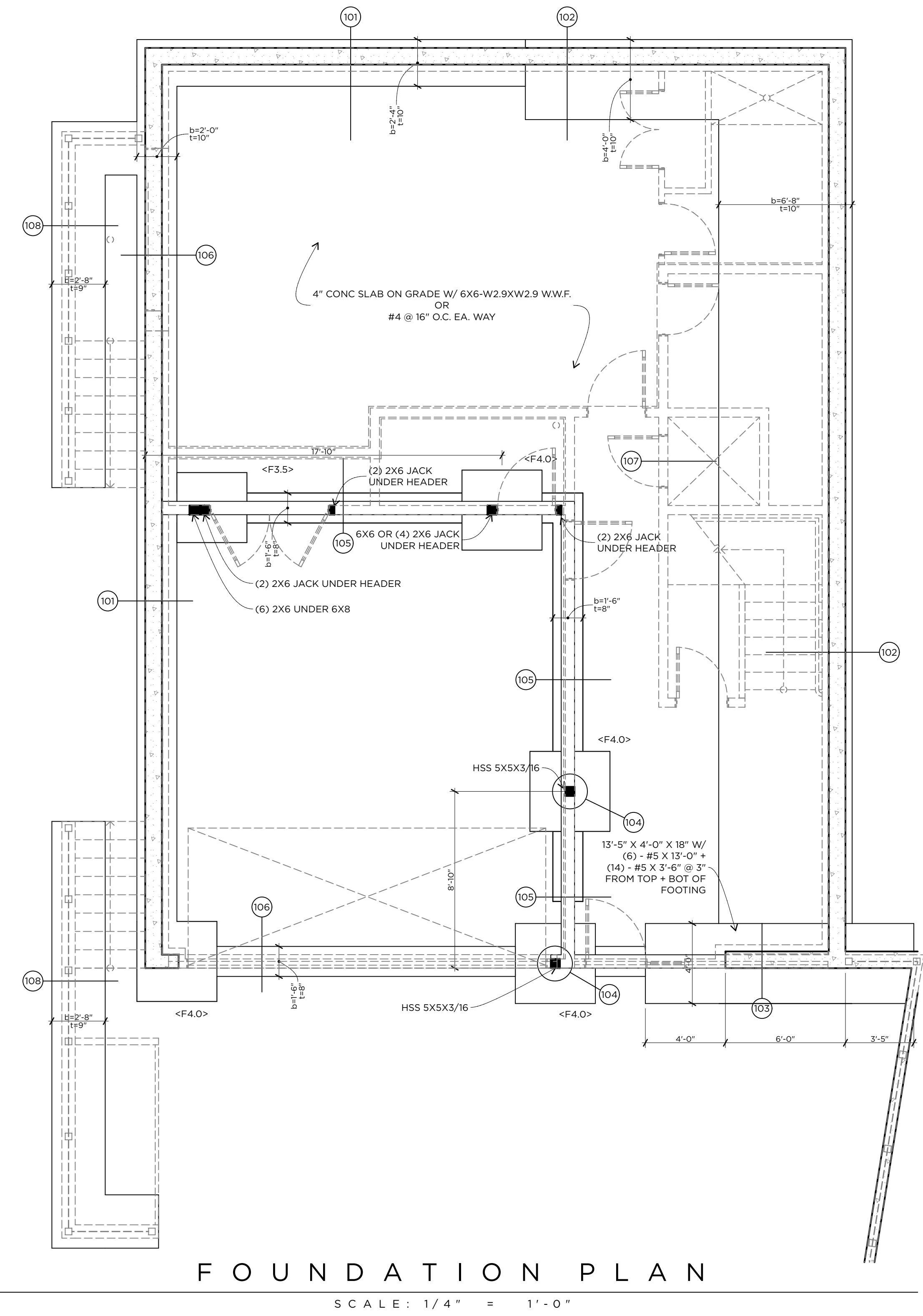
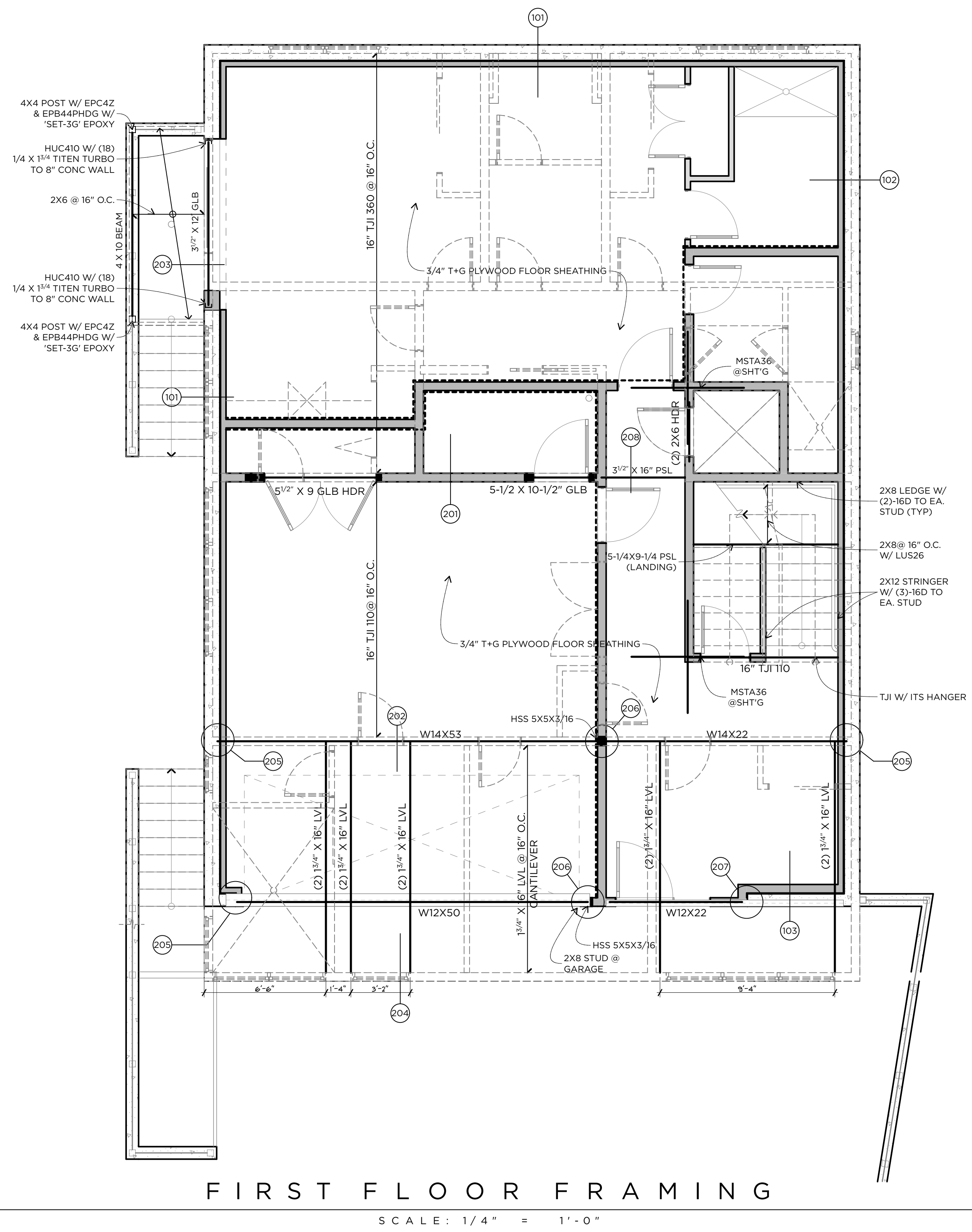


PROJECT:
 MERCER RESIDENCE
 6950 SE MAKER STREET
 MERCER ISLAND, WA 98040

DATE: June 22, 2022
 SCALE: SEE PLAN
 JOB NO.: 22-300
 DRAWN: D. S.
 CHECK: D. S.

SHEET TITLE
**SECTIONS
 & DETAILS**

SHEET
S1.2



FOUNDATION + FIRST FLOOR FRAMING PLANS
 MERCER RESIDENCE
 6950 SE MAKER ST MERCER ISLAND, WA

RELEASE
10 MAY 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023



MERCER RESIDENCE
6950 SE MAKER ST MERCER ISLAND, WA

SECOND FLOOR + ROOF FRAMING PLANS

RELEASE
10 MAY 2022
PERMIT CORRECTIONS
20 FEBRUARY 2023

S 2 . 2

